FIRESTONE
COLORADO

PLANNING AND ZONING COMMISSION

REGULAR MEETING AGENDA
April 1, 2021
6:00 PM
9900 Park Avenue
Firestone, CO 80504

1. Access Information

1.a. Firestone Planning is inviting you to a scheduled Zoom meeting.

Topic: Planning Commission 4-01-21
Time: Apr 1, 2021 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting
https://us02web.zoom.us/j/86388711723?pwd=cFlMTjVhZXlGZE5ZdWlETFI4RWNmQT09

Meeting ID: 863 8871 1723
Passcode: 654967
One tap mobile
+12532158782,,86388711723#,,,,*654967# US (Tacoma)
+13462487799,,86388711723#,,,,*654967# US (Houston)

Dial by your location
+1 253 215 8782 US (Tacoma)
+1 346 248 7799 US (Houston)
+1 669 900 9128 US (San Jose)
+1 301 715 8592 US (Washington DC)
+1 312 626 6799 US (Chicago)
+1 646 558 8656 US (New York)
Meeting ID: 863 8871 1723
Passcode: 654967
Find your local number: https://us02web.zoom.us/u/kbWTm8x6l1

2. Call to Order & Roll Call

3. Pledge of Allegiance

4. Approval of Agenda

5. Approval of Minutes

* Individuals that desire to address the Planning and Zoning Commission are requested to sign up at the table at the entrance to the meeting room. Each individual will be provided an opportunity to speak (limited to two minutes) during Public Comment. Maximum time permitted for all Public Comment is 30 minutes for each Public Comment noted on Agenda.

If you need special assistance in order to participate in a Planning and Zoning Commission meeting, please contact the Town Clerk's Office at 303-833-3291 in advance of the meeting to make arrangements. A forty-eight-hour notice is requested.

a. Regular Meeting - February 18, 2021

6. Action/Discussion

6.a. **Resolution PC 21-02**- A RESOLUTION OF THE FIRESTONE PLANNING AND ZONING COMMISSION AMENDING THE RULES OF PROCEDURE FOR THE FIRESTONE PLANNING AND ZONING COMMISSION REGARDING REGULAR MEETINGS

7. Public Comment * (maximum time permitted for all Public Comment is 30 minutes)

8. Public Hearings

a. **Resolution PC 21-03** - A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLAT AND FINAL DEVELOPMENT PLAN FOR TURNER COMMONS FILING 1

b. **Resolution PC 21-04** - A RESOLUTION RECOMMENDING APPROVAL OF A FINAL DEVELOPMENT PLAN FOR LOT 3 TURNER COMMONS FILING NO. 1

c. **Resolution PC 21-05** - A RESOLUTION REGARDING LOT 2, 19 & 26 CROSSINGS FINAL DEVELOPMENT PLAN

9. Staff Reports

10. Commissioner Comments

11. Adjournment

* Individuals that desire to address the Board of Trustees are requested to sign up at the table at the entrance to the meeting room. Each individual will be provided an opportunity to speak (limited to two minutes) during Public Comment. Maximum time permitted for all Public Comment is 30 minutes.

If you need special assistance in order to participate in a Board of Trustees meeting, please contact the Town Clerk's Office at 303-833-3291 in advance of the meeting to make arrangements. A forty-eight-hour notice is requested.

TOWN OF FIRESTONE, COLORADO
PLANNING AND ZONING COMMISSION
Regular Meeting
February 18, 2021

Unapproved

1.CALL TO ORDER

The Planning and Zoning Commission of the Town of Firestone met on February 18, 2021, at 2 Park Avenue, Firestone, Colorado. Vice-Chairperson Spiegelberg called the meeting to order at 7:02 p.m.

The following were present upon the call of the roll:

Chairperson:	vacant
Vice-Chairperson:	Tim Spiegelberg
Commissioners:	Jaci Daggett
	John Damsma
	Dennis Haney
	Casey O'Donnell
	Jim Sutton
	Amber Harper
Staff:	Todd Bjerkaas – Director, Planning and Development
	Marty Ostholthoff – Planning Manager
	Millissa Berry – Sr. Planner
	Lisa Bartley – PC Secretary

2.PLEDGE OF ALLEGIANCE

Vice-Chairperson Spiegelberg led the pledge of allegiance.

3.APPROVAL OF AGENDA

Commissioner Haney motioned and Commissioner Damsma seconded to approve the agenda. Voice vote was taken. Motion carried unanimously.

4.Election of Officers

Commissioner Daggett motioned and Commissioner Sutton seconded to elect Commissioner Haney to the position of Chairperson of the Planning and Zoning Commission.

Voting was as follows:
Yes: Daggett, Damsma, Haney, Harper, O'Donnell, Spiegelberg, Sutton,
No: None
Absent: None
Vice-Chairperson Spiegelberg declared the motion carried

Commissioner O'Donnell motioned and Commissioner Damsma seconded to elect Commissioner O'Donnell to the position of Vice-Chairperson of the Planning and Zoning Commission.

Voting was as follows:
Yes: Daggett, O'Donnell, Sutton
No: Damsma, Haney, Harper, Spiegelberg
Absent: None

Motion did not carry,

Chairperson Haney motioned and Commissioner O'Donnell seconded to re-elect Vice-Chairperson Spiegelberg to the position of Vice-Chairperson of the Planning and Zoning Commission.

Voting was as follows:
Yes: Daggett, Haney, O'Donnell, Spiegelberg, Sutton
No: Damsma, Harper
Absent: None

Vice-Chairperson Spiegelberg declared the motion carried

5.APPROVAL OF MINUTES

a. October 15, 2020 – Regular Meeting
Commissioner O'Donnell motioned and Vice-Chairperson Spiegelberg seconded to approve the meeting minutes of the October 15, 2020 Regular Meeting. Voice vote was taken. Motion carried unanimously.

6.PUBLIC COMMENT

None

7.PUBLIC HEARING

a. Resolution PC-21-01–A RESOLUTION RECOMMENDING APPROVAL OF AN OUTLINE DEVELOPMENT PLAN FOR THE FIRELIGHT PARK PLANNED UNIT DEVELOPMENT

Chairperson Haney verified with the Secretary that proper notice of the Public Hearing had been provided and opened the Public Hearing at 7:25 p.m.

Millissa Berry, Sr. Planner, provided a general overview of the proposed application requests and reviewed the PowerPoint presentation of the Staff Report with the Commissioners. He also offered to answer any questions.

Dale Bruns – 1425 Onyx Cir, Longmont, CO and Karen Henry – 1501 Wazee St, Ste 1-C, Denver CO representing the applicant, provided the Commissioners with a general overview of the application request and offered to answer any questions.

Chairperson Haney opened the Public Comment portion at 7:47 p.m. Those wishing to speak:
Connie Eichenlaub – 3370 Black Hills, Longmont
Gary Aboussie, 201 Ridge Rd, Boulder, CO
Chairperson Haney closed the Public Comment portion at 7:52 p.m.

The Town Staff PowerPoint presentation was entered into the record along with all application materials submitted by the applicant; all materials included in the Planning Commission packets; the PowerPoint presentations given tonight; all written referral and public comments received regarding the application; the proofs of public notice of the public hearing; and the Town's subdivision and zoning ordinances and development regulations.

The Commissioners held a general discussion with staff and questioned the applicant regarding the application. Chairperson Haney closed the Public Hearing at 8:20 p.m.

Unapproved

Commissioner Daggett motioned and Commissioner Harper seconded to approve **Resolution PC-21-01**–**A RESOLUTION RECOMMENDING APPROVAL OF AN OUTLINE DEVELOPMENT PLAN FOR THE FIRELIGHT PARK PLANNED UNIT DEVELOPMENT**

Voting was as follows:
Yes: Daggett, Damsma, Haney, Harper, O'Donnell, Spiegelberg, Sutton
No: None
Absent: None
Chairperson Haney declared the motion carried.

7.STAFF REPORTS

Marty Ostholthoff asked the commissioners to consider an earlier Planning Commission meeting start time. Consensus that a 6:00 p.m. start time would be acceptable.

Todd Bjerkaas

- Welcomed new Commissioner Amber Harper
- No anticipated meetings until April 1, 2021

8. COMMISSIONER COMMENTS

None

9. ADJOURNMENT

A motion was made to Adjourn. Voice vote was taken. Chairperson Haney adjourned the meeting at 8:38 p.m.

Introduced and Approved this 1st day of April, 2021.

TOWN OF FIRESTONE, COLORADO

_____
Chairperson

ATTEST

_____
Lisa Bartley, Secretary

Unapproved

FIRESTONE PLANNING AND ZONING COMMISSION

RESOLUTION NO. PC-21-02

A RESOLUTION OF THE FIRESTONE PLANNING AND ZONING COMMISSION AMENDING THE RULES OF PROCEDURE FOR THE FIRESTONE PLANNING AND ZONING COMMISSION REGARDING REGULAR MEETINGS.

WHEREAS, the Firestone Planning and Zoning Commission adopted Rules of Procedure on November 16, 2017 as permitted under Section 2.56.040 of the Firestone Municipal Code; and

WHEREAS, the Firestone Planning and Zoning Commission desires to amend its meeting procedures in a manner that provides for full participation by all parties, including the public, at its regular meetings and will further ensure full participation at public hearings.

NOW, THEREFORE, BE IT RESOLVED BY THE FIRESTONE PLANNING AND ZONING COMMISSION:

1. Section 1, Article IV, "Regular Meetings," of the Firestone Planning and Zoning Commission Rules of Procedure, is hereby amended so that it now reads as follows:

Section 1. Regular Meetings.

Regular meetings shall be held on the first and third Thursday of every month, unless otherwise posted and unless there are not items for the Commission's consideration. All other meetings of the Commission shall be special meetings upon the call of the Chairperson or, in the absence of the Chairperson, the Vice-Chairperson, or two (2) members of the Commission. All meetings of the Commission, whether regular or special, shall be open to the public. Unless otherwise specified in the posting, all regular and special meetings shall convene at 6:00 p.m. and shall end at 9:00 p.m. A majority of Commission members in attendance at a regular or special meeting may vote to extend the meeting beyond 9:00 p.m.

PASSED AND ADOPTED this ____ day of _____, 2021.

_____
Dennis Haney, Chairperson

ATTEST:

_____
Lisa Bartley, Secretary

Staff Report

Resolution PC 21-03 - Turner Commons Filing No. 1 Final Plat
and
Resolution PC 21-04 - Lot 3 Turner Commons Filing No. 1 Final Development Plan

Prepared by the
Town of Firestone for the
Planning and Zoning Commission

April 1, 2021

Applications
This staff report is for the Turner Commons Filing No. 1 Final Plat (Final Plat) and the Lot 3 Turner Commons Filing No. 1 Final Development Plan (FDP). The applicant for the Final Plat and FDP is QuikTrip Corporation represented by Michael Talcott of QuikTrip Corp. and Aaron McLean of Galloway and Company, Inc. The application was submitted prior to the adoption of the Firestone Development Code (FDC) and therefore was reviewed under the Firestone Development Regulations that were in place prior to the FDC..

Notice
Pursuant to the Town Code and Development Regulations, proper notification of the public hearings were published. Proof of notification to surrounding property owners and a property posting affidavit have been provided by the applicant.

Location and Process
The approximate location of the Final Plat and FDP is northwest of the intersection of Highway (Hwy) 119 and Interstate 25. The Final Plat and FDP approvals are the final steps in the Firestone Development Regulations process prior to the building permit process. Please note that the application was submitted prior to the adoption of the Firestone Development Code so it was therefore processed under the standards at that time, the Firestone Development Regulations.

Final Plat Analysis
The majority of the Turner Commons Filing No. 1 Final Plat property is zoned Planned Unit Development with Regional Commercial (PUD RC) land uses. A 0.69 portion of the property which was recently annexed into the Town and is zoned Regional Commercial (RC). The property to be subdivided is approximately 6.27 acres in size. The proposed Final Plat creates three developable lots and one tract for access to the development as well as future access to the properties to the north. Access to the overall property is from the north leg of the intersection of Hwy 119 and Turner Boulevard. Access into the individual lots will be from an access road constructed on Tract A.

The Final Plat also shows the location proposed easements, and their intended purpose on the property. The property is currently encumbered by a multitude of easements that run from the southwest corner diagonally across the property to the northeast corner of the proposed Lot 3. The applicant is in the process of relocating the easements, via separate instruments, and vacating the easements that run through the middle of the proposed Lot 3. New easement alignments will be at the perimeter of the individual lots. The completion of the easement relocations and the vacation of the existing easements is expected to be within six (6) weeks of the approval of the plat. The Final Plat shows the intended easement layout for the property. Therefore, it cannot be recorded until the easements through the center of the property are vacated.

Final Development Plan Analysis
Lot 3 of Turner Commons Filing No. 1 is approximately 2.98 acres in size and is proposed to be developed with a 4,993 square foot commercial convenience store building and the associated fueling facility (9 double-sided stations), parking, and landscaping. The proposed use of Lot 3 is consistent with the approved Turner Commons ODP. The facility is intended to operate on a 24-hour basis.

Access into the overall subdivision is from and access drive that creates the north leg of the Turner Blvd and Hwy 119 intersection. The traffic intersection will be retrofitted with a new traffic signal on the south side (to signal the north leg traffic) and restriping to accommodate the new turn

movements. Access into Lot 3 is from 2 points off of the access drive. The proposed building and associated parking fronts Hwy 119 with the building being located near the center of the site. The proposed fueling stations are located on the western portion of the site. A trash enclosure is located at the north end of the property. An emphasized pedestrian access links the sidewalk along Hwy 119 to the entry of the building.

The proposed building is approximately 20 feet in height. (The maximum building height allowed per zoning is 50 feet.) The building is a bronze-toned brick with black stacked rock accent columns, red canopies, and a white cornice. A black mesh framework screens the roof equipment from view. Exterior equipment is finished in a dark brown to allow the equipment to blend into the brick wall. Exterior lighting fixtures are full cut off models. A recessed area may be incorporated into the right (east) elevation to accommodate an ice machine. A trash enclosure of the same bronze brick material is located north of the building. The fueling station canopies are 18' 6" in height. The fueling station canopies have a non-illuminated tan canopy with a thin illuminated red band at the bottom of the canopy. Canopy poles are wrapped with a brick to match the building. Proposed signage for the building and canopy are shown on the elevations within the FDP.

Two freestanding signs are proposed. One is located just east of the access point with Hwy 119. The other is located in the southeast corner of the site. The second freestanding sign referred to is intended to serve as a development identification sign. The intent of the development identification sign is to identify a number of commercial uses within the immediate area on a single sign structure. Signage on this freestanding sign is reserved for properties within the Town of Firestone in the area bounded by Highway 119, the south bound exit ramp along I-25, and the St. Vrain State Park.

The majority of the landscaping is located along the north, east and south edges of the site though landscaping also occurs in parking lot landscape islands and landscape islands long the access road that delineate where the access points into Lot 3. A drainage pond is located on the northern portion of the site adjacent to the trash enclosure. The existing irrigation ditch that crosses the property is being relocated to the south and east edges of the property. A split rail fence will flank the irrigation ditch to provide added protection between the commercial area and the irrigation ditch as well as between the sidewalk along Hwy 119 and the irrigation ditch. There is proposed grading on Lots 1 and 2 so those lots are technically included in the legal description of the FDP.

The fuel storage tanks are located immediately south of the drainage pond. Fuel tucks will access the site from the access drive and loop around the parking lot to the fuel tanks then back out to access drive without the need of additional maneuvers to turn the trucks around.

Although this FDP is processed through the Firestone Development Regulations, the development will comply with applicable setback, landscape, lighting, architecture and signage requirements of the Firestone Development Code.

Utility and Services

Water service will be provided directly from the Left Hand Water District. Sanitary sewer service will be provided by the St. Vrain Sanitation District. Electrical service is provided by United Power, which has existing service adjacent to the property. Additional utility provides include Century Link and the Frederick Firestone Fire Protection District. Due to the relocation and vacation of utility easements on the site and their current location where the proposed building will be located, this FDP may not be recorded until the Turner Commons Filing 1 Final Plat is recorded

Fiscal Analysis
The proposed development will provide employment opportunities as well as providing sales tax revenue to the Town.

_____

_____

Planning and Zoning Commission and Board of Trustees Conditions and Standards for Approval

For your general reference, attached are the conditions and standards of approval for a PUD district that are stated in the Firestone Development Regulations.

Conditions and Standards for Approval
The Planning Commission and the Town Board of Trustees may approve a PUD application if it meets the intent of these Regulations and complies with the Town Code and other controlling regulations and documents, including the development standards specified herein. The Planning Commission and Town Board shall consider the following in making their decision for approval, approval with conditions, or denial of a PUD:

A. The proposed PUD district is compatible with present development in the surrounding area, and will not have a significant, adverse effect on the surrounding area;

B. The proposed PUD district is consistent with the public health, safety and welfare, as well as efficiency and economy in the use of land and its resources;

C. The proposed PUD district is consistent with the overall direction, intent of Titles 16 and 17 of the Town Code, and the intent and policies of the Town's comprehensive plan and other policy documents of the Town;

D. The proposed PUD district provides for a creative and innovative design which could not otherwise be achieved through other standard zoning districts;

E. The exceptions from the zoning regulations requested in the proposed PUD are warranted by virtue of innovative design and amenities incorporated in the PUD district;

F. The PUD provides adequate circulation in terms of internal street circulation system, designed for the type of traffic generated, for separate living areas, convenience, safety, access, and noise and exhaust control. Proper circulation in parking areas shall be provided in terms of safety, convenience, separation and screening. The PUD should provide for buffering from collector and arterial streets through earthen berms, landscaping, and other methods;

G. The PUD provides functional open space in terms of practical usability and accessibility, and optimum preservation of natural features, including trees and drainage areas, recreation, views, natural stream courses, bodies of water and wetlands;

H. To the extent practicable, the PUD provides variety in terms of housing types, housing size, densities, facilities and open space;

I. The PUD provides for pedestrian and bicycle traffic in terms of safety, separation, convenience, access, destination and attractiveness. If possible, there shall be an internal pedestrian circulation system separate from the vehicular system such that allows access to adjacent parcels, parks, open space, or recreational facilities within the PUD as well as links to trail systems of the Town;

J. Building types in terms of appropriateness to density, site relationship and bulk;

K. Building design in terms of orientation, spacing, materials, color, texture, storage, signs and lighting;

L. Landscaping of the site in terms of purpose, such as screening, types and materials used, maintenance suitability, water demands and effect on the area;

M. Services including utilities, fire, police protection and other such services are available or can be made available to adequately serve the development;

N. No structures in the PUD shall encroach on a floodplain except as permitted by the Town's floodplain ordinance;

O. No occupied structure shall be located on ground showing severe subsidence potential without adequate design and study approved by the Town;

P. Visual relief and variety of visual sitings shall be located within the PUD through building placement, shortened or interrupted street vistas, visual access to open space and other design methods;

Q. The fiscal impacts on the Town, relative to expected service provision costs and anticipated revenue to the Town;

R. Compliance with the provisions of any applicable intergovernmental agreements;

S. The PUD incorporates a lighting plan and facilities to minimize of light drift outside the PUD in an effort to help preserve the night sky;

T. To the extent reasonably practicable, the PUD shall strive to incorporate "green" building standards and design guidelines for all residential and commercial development in an effort increase energy efficiency and reduce energy consumption;

U. To the extent reasonably practicable, the PUD shall strive to incorporate renewable energy technologies;

V. To the extent reasonably practicable, the PUD shall strive to incorporate best management practices in recycling, water conservation, soils preservation and sustainable development practices;

W. To the extent reasonably practicable, the PUD shall strive to incorporate Infrastructure design that emphasizes technology that will encourage the development of "knowledge workers" and will facilitate telecommuting.

Planning Commission or Board of Trustees Action

The Planning Commission Board or Board of Trustees has the following options relative to the action on applications in general. As necessary additional information relative to continuances, etc. can be provided by the Town Attorney.

A. Make a decision and vote on the application, using the draft resolution previously prepared, as may be amended during the hearing; or

B. Make a decision and vote on the application, but request the Town Attorney to prepare findings of fact and conclusions for approval and adoption at the next regular meeting; or

C. Defer a decision and direct the Town Attorney to prepare findings of fact and conclusions to be submitted to the Board of Trustees at its next regular meeting, with final deliberation, decision and adoption of the findings of fact and conclusion at that meeting; or

D. Defer a decision until a date certain, as is mutually agreed upon by the Applicant and the Board of Trustees, by which time the record and all evidence can be reviewed. At that time the Board of Trustees can either adopt findings of fact and conclusions or direct the Town Attorney to prepare findings of fact and conclusions for adoption at the next regular meeting after the meeting to which the matter has been deferred.

RECOMMENDATIONS

Final Plat

Town staff recommends the Planning & Zoning Commission approve draft Resolution PC-21-03, a resolution recommending approval of the Turner Commons Filing No. 1 Final Plat application to the Board of Trustees with the following conditions:

1. Modify plans and application materials pursuant to comments of the Planning & Development Department set forth in memoranda dated March 9, 2021, to the Town's satisfaction.

2. Provide an updated title commitment when the mylars are provided for recording, dated no later than thirty (30) days prior to submission of mylars.

3. Technical corrections to the Turner Commons Filing No. 1 Final Plat shall be made to the Town's satisfaction.

4. Within one hundred and eighty (180) days of the date of this resolution, the Applicant shall submit documentation of recorded vacations for the existing easements on the property.

Final Development Plan

Town staff recommends the Planning & Zoning Commission approve draft Resolution PC-21-04, a resolution recommending approval of the Lot 3 Turner Commons Filing No. 1 Final Development Plan application to the Board of Trustees with the following conditions:

1. Modify plans and application materials pursuant to comments of the Planning & Development Department set forth in memoranda dated March 9, 2021, to the Town's satisfaction within one hundred and eighty (180) days of the date of this resolution.

2. Technical corrections to the Lot 3 Turner Commons Filing No. 1 Final Development Plan shall be made to the Town's satisfaction.

3. Lot 3 Turner Commons Filing No. 1 Final Development Plan shall not be recorded until the Turner Commons Filing No. 1 Final Plat is recorded.

FIRESTONE PLANNING AND ZONING COMMISSION

RESOLUTION NO. PC-21-03

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLAT AND FINAL DEVELOPMENT PLAN FOR TURNER COMMONS FILING 1

WHEREAS, there has been submitted to the Planning and Zoning Commission of the Town of Firestone a request for approval of a final plat and final development plan for Turner Commons Filing No. 1; and

WHEREAS, all materials related to the application have been reviewed by Town Staff and found with conditions to be in compliance with Town of Firestone subdivision and zoning ordinances, Development Regulations, and related Town ordinances, regulations, and policies; and

WHEREAS, after a duly-noticed public hearing, at which evidence and testimony were entered into the record, the Planning and Zoning Commission finds the application to be in compliance with Town of Firestone subdivision and zoning ordinances, Development Regulations, and related Town ordinances, regulations, and policies and should therefore be approved, subject to those conditions set forth herein.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF FIRESTONE, COLORADO:

Section 1. The Planning and Zoning Commission hereby recommends approval of the proposed final plat and final development plan for Turner Commons Filing No. 1, subject to the conditions set forth on Exhibit A attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st day of April, 2021.

_____
Chairperson

ATTEST:

_____
Secretary

EXHIBIT A
Turner Commons Filing No. 1
Final Plat and Final Development Plan
Conditions of Approval

General

1. Modify plans and application materials pursuant to comments of the Planning & Development Department set forth in memoranda dated March 9, 2021, to the Town's satisfaction.

2. Provide an updated title commitment when the mylars are provided for recording, dated no later than thirty (30) days prior to submission of mylars.

3. Technical corrections to the Turner Commons Filing No. 1 Final Plat shall be made to the Town's satisfaction.

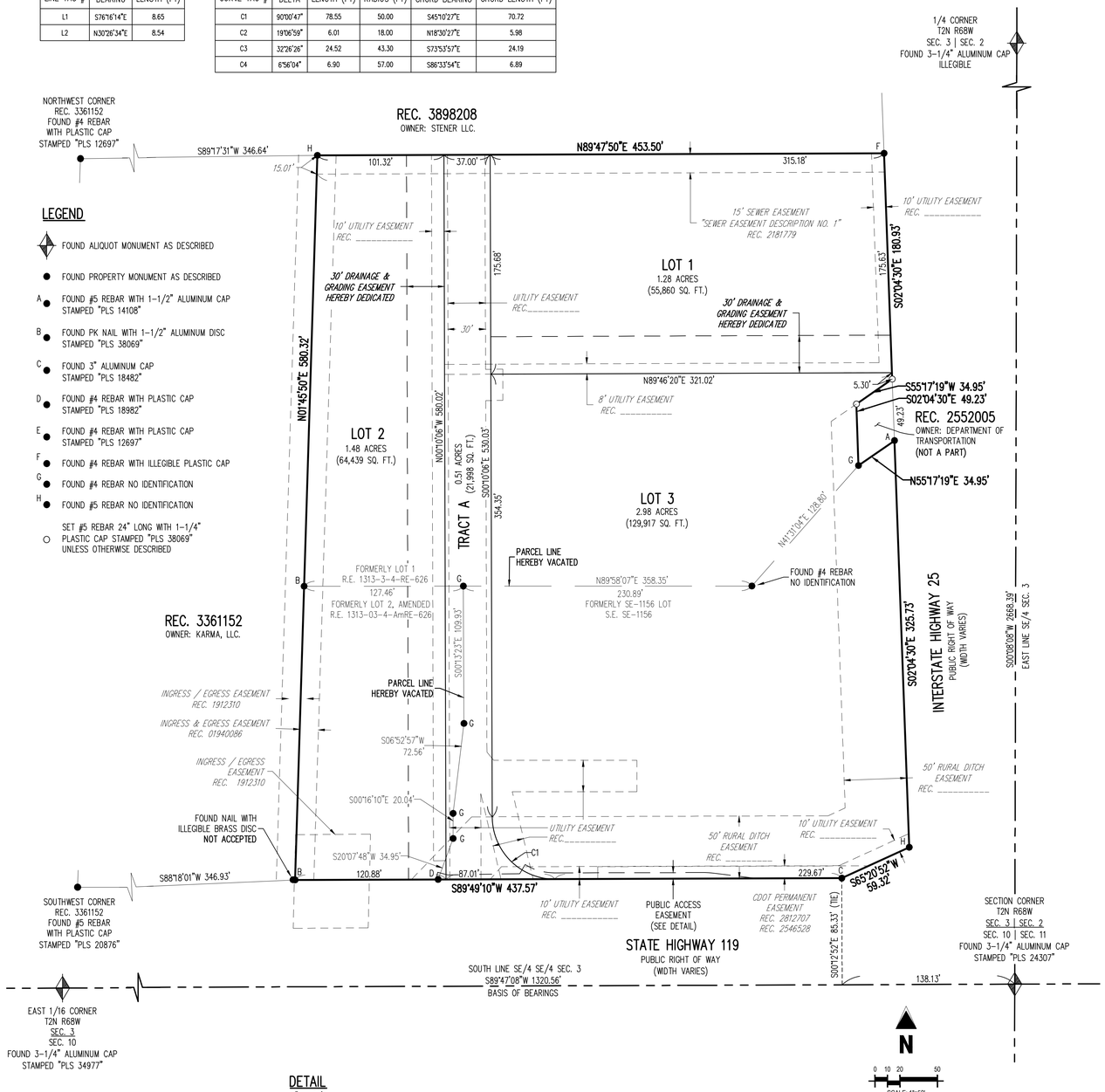
4. Within one hundred and eighty (180) days of the date of this resolution, the Applicant shall submit documentation of recorded vacations for the existing easements on the property.

FINAL PLAT
TURNER COMMONS
FILING NO.1

TOWN OF FIRESTONE
WELD COUNTY
STATE OF COLORADO
SHEET 1 OF 1

LINE TABLE		
LINE TAG #	BEARING	LENGTH (FT)
L1	S76°16'14"E	8.65
L2	N30°26'34"E	8.54

CURVE TABLE					
CURVE TAG #	DELTA	LENGTH (FT)	RADIUS (FT)	CHORD BEARING	CHORD LENGTH (FT)
C1	90°00'47"	78.55	50.00	S45°10'27"E	70.72
C2	19°06'59"	6.01	18.00	N18°30'27"E	5.98
C3	32°26'26"	24.52	43.30	S73°53'57"E	24.19
C4	6°56'04"	6.90	57.00	S86°33'54"E	6.89

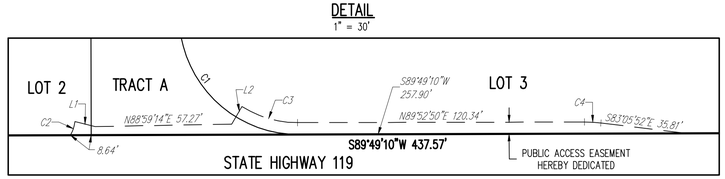


LEGEND

- FOUND ALIQUOT MONUMENT AS DESCRIBED
- FOUND PROPERTY MONUMENT AS DESCRIBED
- A FOUND #5 REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "PLS 14108"
- B FOUND PK NAIL WITH 1-1/2" ALUMINUM DISC STAMPED "PLS 38069"
- C FOUND 3" ALUMINUM CAP STAMPED "PLS 18482"
- D FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 18982"
- E FOUND #4 REBAR WITH PLASTIC CAP STAMPED "PLS 12697"
- F FOUND #4 REBAR WITH ILLEGIBLE PLASTIC CAP
- G FOUND #4 REBAR NO IDENTIFICATION
- H FOUND #5 REBAR NO IDENTIFICATION
- SET #5 REBAR 24" LONG WITH 1-1/4" PLASTIC CAP STAMPED "PLS 38069" UNLESS OTHERWISE DESCRIBED

DETAIL

1" = 30'



CERTIFICATE OF DEDICATION, OWNERSHIP AND MAINTENANCE:

KNOW ALL MEN BY THOSE PRESENTS THAT _____ BEING THE OWNER(S), OF CERTAIN LANDS SHOWN ON THIS PLAT AND DESCRIBED AS FOLLOWS:

ALL OF LOT 1, RECORDED EXEMPTION NO. 1313-3-4-RE 626, RECORDED SEPTEMBER 12, 1983 UNDER RECEPTION NO. 01940086, BEING A PART OF THE SE 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE 6TH P.M., EXCEPTING THEREFROM, THAT PARCEL CONVEYED IN SPECIAL WARRANTY DEED RECORDED JUNE 9, 1997 UNDER RECEPTION NO. 2552005, COUNTY OF WELD, STATE OF COLORADO.
CONTAINING 3.51 ACRES, MORE OR LESS.

TOGETHER WITH:

LOT 2, AMENDED RECORDED EXEMPTION NO. 1313-03-4-AMRE-626, RECORDED DECEMBER 17, 2009 UNDER RECEPTION NO. 3665637, BEING A PART OF THE SE 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO.
CONTAINING 0.69 ACRES, MORE OR LESS.

TOGETHER WITH:

SE-1156 LOT, SUBDIVISION EXCEPTION NO. SE-1156, RECORDED DECEMBER 17, 2009 UNDER RECEPTION NO. 3665635, BEING A PART OF THE SE 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE 6TH P.M., EXCEPTING THEREFROM THAT PARCELS CONVEYED IN DEEDS RECORDED JULY 1, 1988 UNDER RECEPTION NO. 02146713 AND JUNE 9, 1997 UNDER RECEPTION NO. 2552005, AND FURTHER EXCEPTING PARCEL NUMBER 14, SET FORTH ON PAGE 3 OF RULE AND ORDER RECORDED DECEMBER 3, 1998 UNDER RECEPTION NO. 2657786, COUNTY OF WELD, STATE OF COLORADO.
CONTAINING 2.07 ACRES, MORE OR LESS.

TOTAL AREA OF ALL PARCELS: 6.27 ACRES, MORE OR LESS.

HAVE LAID OUT, SUBDIVIDED AND PLATTED SAID LAND AS PER DRAWING HEREON CONTAINED UNDER THE NAME AND STYLE OF **TURNER COMMONS FILING NO.1**, A SUBDIVISION OF A PART OF THE TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO, AND BY THESE PRESENTS DO HEREBY DEDICATE TO THE USE OF THE TOWN OF FIRESTONE AND ALL SERVING PUBLIC UTILITIES (AND OTHER APPROPRIATE ENTITIES) THOSE PORTIONS OF SAID REAL PROPERTY WHICH ARE SO DESIGNATED AS EASEMENTS AS SHOWN, AND DO HEREBY GRANT TO THE RURAL DITCH COMPANY THE 50' RURAL DITCH EASEMENT SHOWN HEREON.

IT IS EXPRESSLY UNDERSTOOD AND AGREED BY THE UNDERSIGNED THAT ALL EXPENSES AND COSTS INVOLVED IN CONSTRUCTING AND INSTALLING SANITARY SEWER SYSTEM WORKS AND LINES, WATER SYSTEM WORKS AND LINES, GAS SERVICE LINES, ELECTRICAL SERVICE WORKS AND LINES, LANDSCAPING, CURBS, GUTTERS, STREET PAVEMENT, SIDEWALKS, AND OTHER SUCH UTILITIES AND SERVICES SHALL BE GUARANTEED AND PAID FOR BY THE SUBDIVIDER OR ARRANGEMENTS MADE BY THE SUBDIVIDER THEREOF WHICH ARE APPROVED BY THE TOWN OF FIRESTONE, COLORADO, AND SUCH SUMS SHALL NOT BE PAID BY THE TOWN OF FIRESTONE, AND THAT ANY ITEM SO CONSTRUCTED OR INSTALLED WHEN ACCEPTED BY THE TOWN OF FIRESTONE SHALL BECOME THE SOLE PROPERTY OF SAID TOWN OF FIRESTONE, COLORADO, EXCEPT PRIVATE ROADWAY CURBS, GUTTER AND PAVEMENT AND ITEMS OWNED BY MUNICIPALITY FRANCHISED UTILITIES, OTHER SERVING PUBLIC ENTITIES AND/OR QWEST, INC., WHICH WHEN CONSTRUCTED OR INSTALLED SHALL REMAIN AND/OR BECOME THE PROPERTY OF SUCH MUNICIPALITY FRANCHISED UTILITIES, OTHER SERVING PUBLIC ENTITIES, AND/OR QWEST, INC. AND SHALL NOT BECOME THE PROPERTY OF THE TOWN OF FIRESTONE, COLORADO.

OWNER:
[OWNER]

BY: _____

STATE OF _____)
) SS.
COUNTY OF _____)

THE FOREGOING DEDICATION WAS ACKNOWLEDGED BEFORE ME

THIS _____ DAY OF_____, 20_____.

MY COMMISSION EXPIRES _____

WITNESS MY HAND AND SEAL.

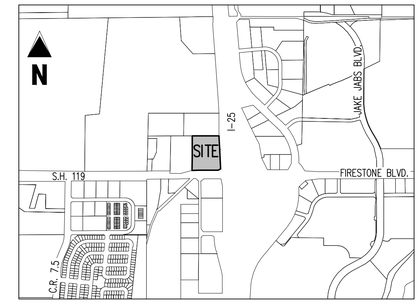
_____
NOTARY PUBLIC

BASIS OF BEARING

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983. BEARINGS ARE BASED ON THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE SIXTH PRINCIPAL MERIDIAN, AND IS CONSIDERED TO BEAR S 89°47'08" W, MONUMENTED AS SHOWN.

VICINITY MAP

1" = 1200'



NOTES:

1) THIS MAP WAS PREPARED FOR A MINOR SUBDIVISION PLAT ONLY BASED ON FIELD DATA COLLECTED AND OBSERVATIONS COMPLETED ON JANUARY 29, 2020.

2) ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCE MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

3) THIS MAP DOES NOT REPRESENT A TITLE SEARCH BY GALLOWAY & COMPANY, INC. TO DETERMINE OWNERSHIP OR THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHT OF WAY OR TITLE THEREOF, GALLOWAY & COMPANY INC. RELIED UPON TITLE COMMITMENT PROVIDED BY CLIENT AND PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY, COMMITMENT NO. ABZ25164279-3, WITH A COMMITMENT DATE OF 05/29/2019 AT 5:00 PM.

4) ALL LINEAL DISTANCES SHOWN ARE U.S. SURVEY FEET.

5) GRADING, DRAINAGE, AND IRRIGATION WITHIN THE 30' WIDE DRAINAGE AND GRADING EASEMENTS DEDICATED HEREON MUST BE RETAINED AND MAINTAINED.

TOWN APPROVAL

THIS IS TO CERTIFY THAT THE PLAT OF (NAME OF SUBDIVISION) WAS APPROVED ON

THIS _____ DAY OF _____, 20____ BY RESOLUTION NO. _____, AND THAT THE MAYOR OF THE TOWN OF FIRESTONE ON BEHALF OF THE TOWN OF FIRESTONE, HEREBY ACKNOWLEDGES SAID PLAT UPON WHICH THIS CERTIFICATE IS ENDORSED FOR ALL PURPOSES INDICATED THEREON.

_____ _____
MAYOR ATTEST: TOWN CLERK

CONTACT LIST

SURVEYOR OF RECORD
GALLOWAY & CO.
BRIAN DENNIS
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
TEL: (719) 900-7220

QT REAL ESTATE PROJECT MANAGER
QUIKTRIP CORPORATION
MIKE TALCOTT
1499 WEST 120TH AVENUE, SUITE 110
WESTMINSTER, CO 80023-2719
TEL: (913) 905-2069

ENGINEER OF RECORD
GALLOWAY & CO.
AARON MCLEAN
6162 S. WILLOW DR., SUITE 320
GREENWOOD VILLAGE, CO, 80111
TEL: (303) 770-8884
FAX: (303) 770-3636

QT CIVIL PROJECT MANAGER
QUIKTRIP CORPORATION
JOSH POTTER
4705 SOUTH 129TH EAST AVE.
TULSA, OK 74134
TEL: (918) 615-7685

SURVEYING CERTIFICATE

I, BRIAN J. DENNIS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY REPRESENTED BY THIS PLAT WAS MADE AND CHECKED UNDER MY PERSONAL SUPERVISION. I FURTHER CERTIFY THAT THE SURVEY AND THIS PLAT COMPLY WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS OF THE STATE OF COLORADO, STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS, AND WELD COUNTY AND THAT THE PLAT ACCURATELY AND PROPERLY SHOWS SAID SUBDIVISION.

BRIAN J. DENNIS
COLORADO PROFESSIONAL LAND SURVEYOR NO. 38069
PROJECT NO.: QKT004202.10
FOR AND ON BEHALF OF GALLOWAY & COMPANY, INC.

FIRESTONE INFORMATION BLOCK	
NAME OF APPLICATION:	TURNER COMMONS FILING 1
TYPE OF SUBMITTAL:	FINAL PLAT
FILING NO:	1
PHASE NUMBER:	N/A
PREPARATION DATE:	02/04/2020
REVISION DATE:	05/07/2020
REVISION DATE:	11/23/2020
REVISION DATE:	
REVISION DATE:	
REVISION DATE:	

Galloway
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
719.900.7220 • GallowayUS.com

FINAL PLAT
TURNER COMMONS
FILING NO. 1
TOWN OF FIRESTONE
WELD COUNTY
STATE OF COLORADO
SHEET 1 OF 1

#	Date	Issue / Description	Init.
1	05/14/2020	ADDRESS TOWN COMMENTS	EMV
2	07/21/2020	REV. TRACT A	EMV
3	09/29/2020	LOTS / TRACTS REVISED	EMV
4	11/23/2020	EASEMENTS REVISED	EMV

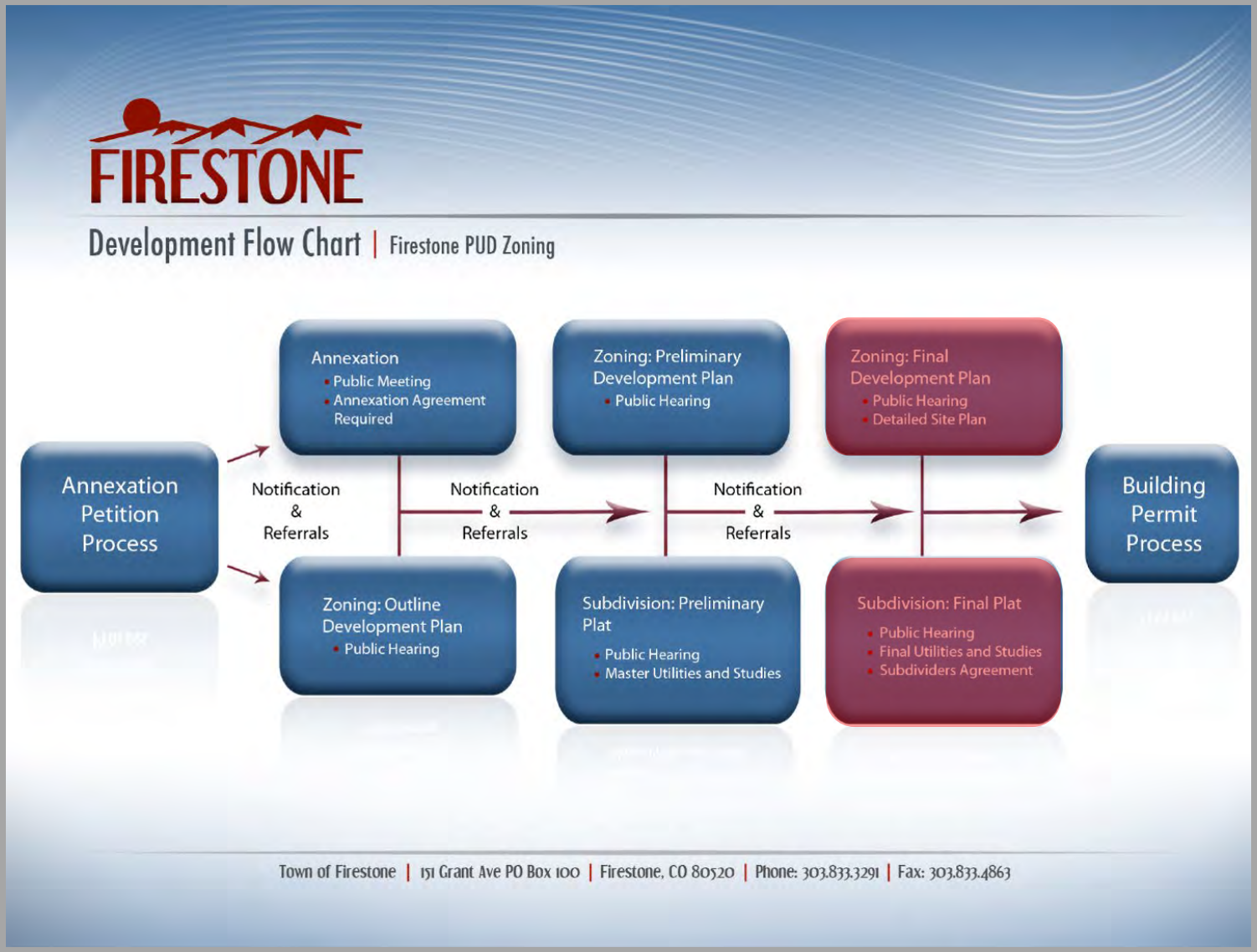
Project No:	QKT004202.10
Drawn By:	EMV
Checked By:	BJD
Date:	02/04/2020

RESOLUTION PC 21- 03 - TURNER COMMONS FILING NO. 1 FINAL PLAT

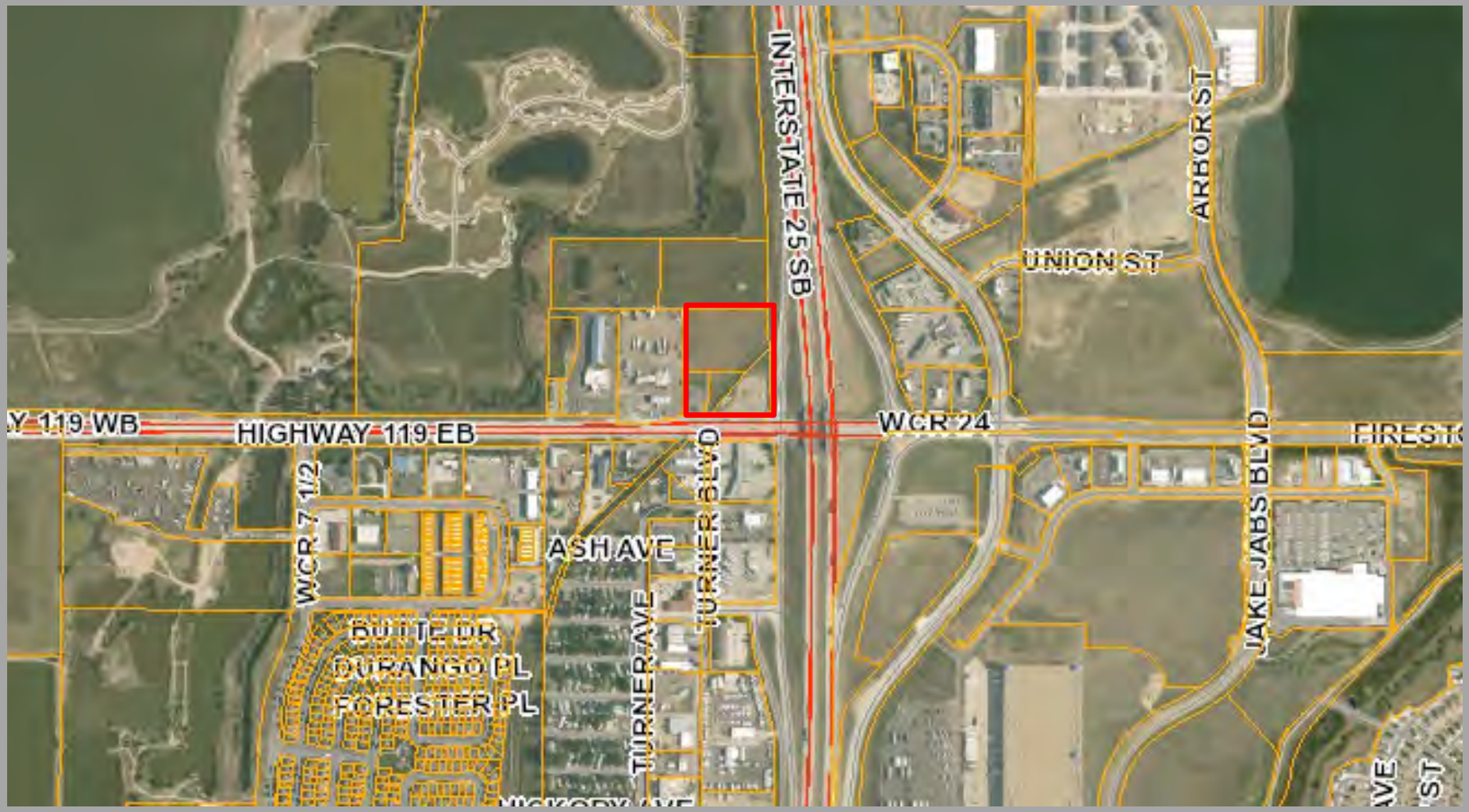
&

RESOLUTION 21- 04 - LOT 3 TURNER COMMONS FILING NO. 1 FINAL DEVELOPMENT PLAN

Process

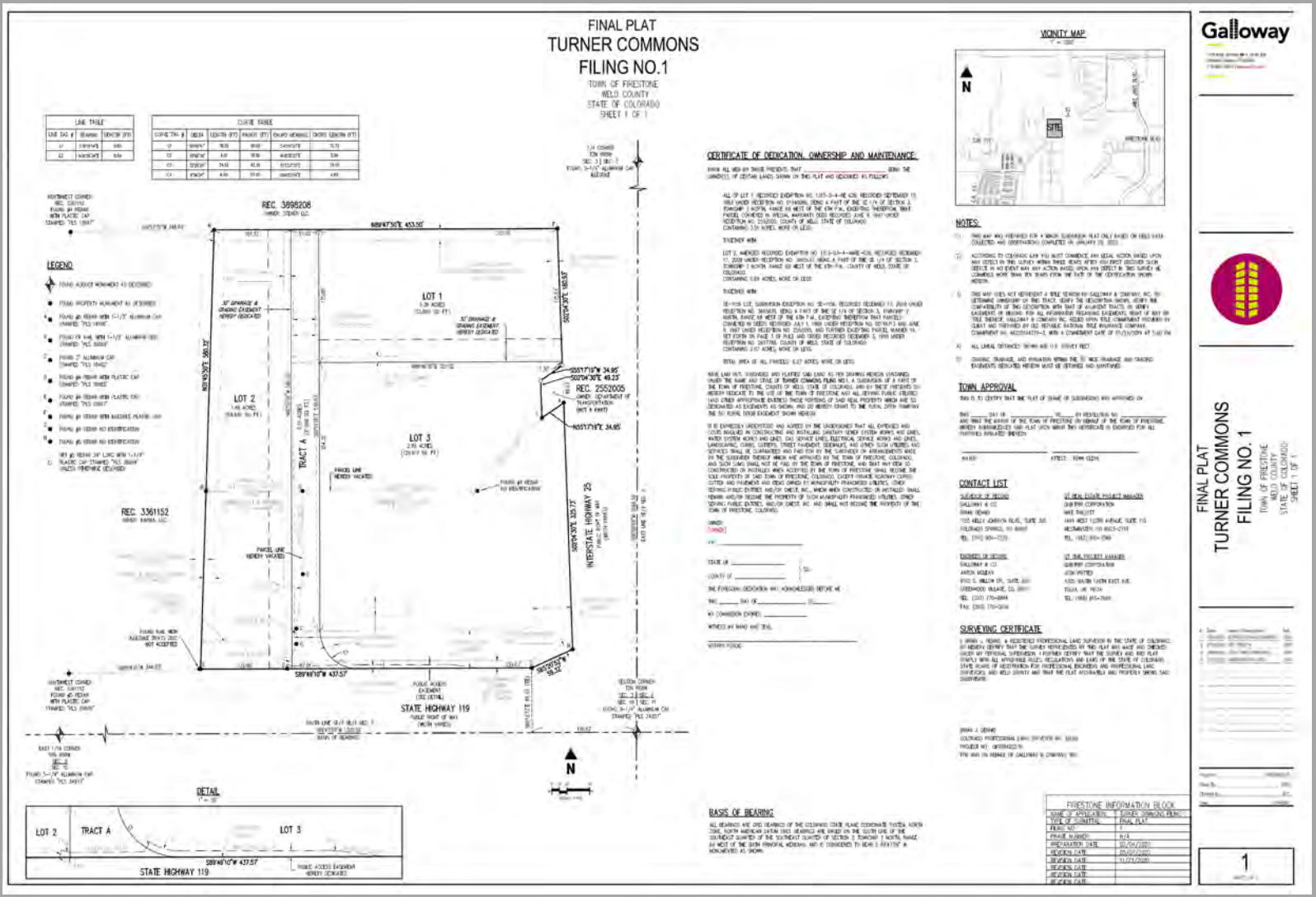

FIRESTONE
Development Flow Chart | Firestone PUD Zoning
Annexation Petition Process
Annexation
• Public Meeting
• Annexation Agreement Required
Notification & Referrals
Zoning: Outline Development Plan
• Public Hearing
Notification & Referrals
Zoning: Preliminary Development Plan
• Public Hearing
Subdivision: Preliminary Plat
• Public Hearing
• Master Utilities and Studies
Notification & Referrals
Zoning: Final Development Plan
• Public Hearing
• Detailed Site Plan
Subdivision: Final Plat
• Public Hearing
• Final Utilities and Studies
• Subdividers Agreement
Building Permit Process
Town of Firestone | 151 Grant Ave PO Box 100 | Firestone, CO 80520 | Phone: 303.833.3291 | Fax: 303.833.4863

Location

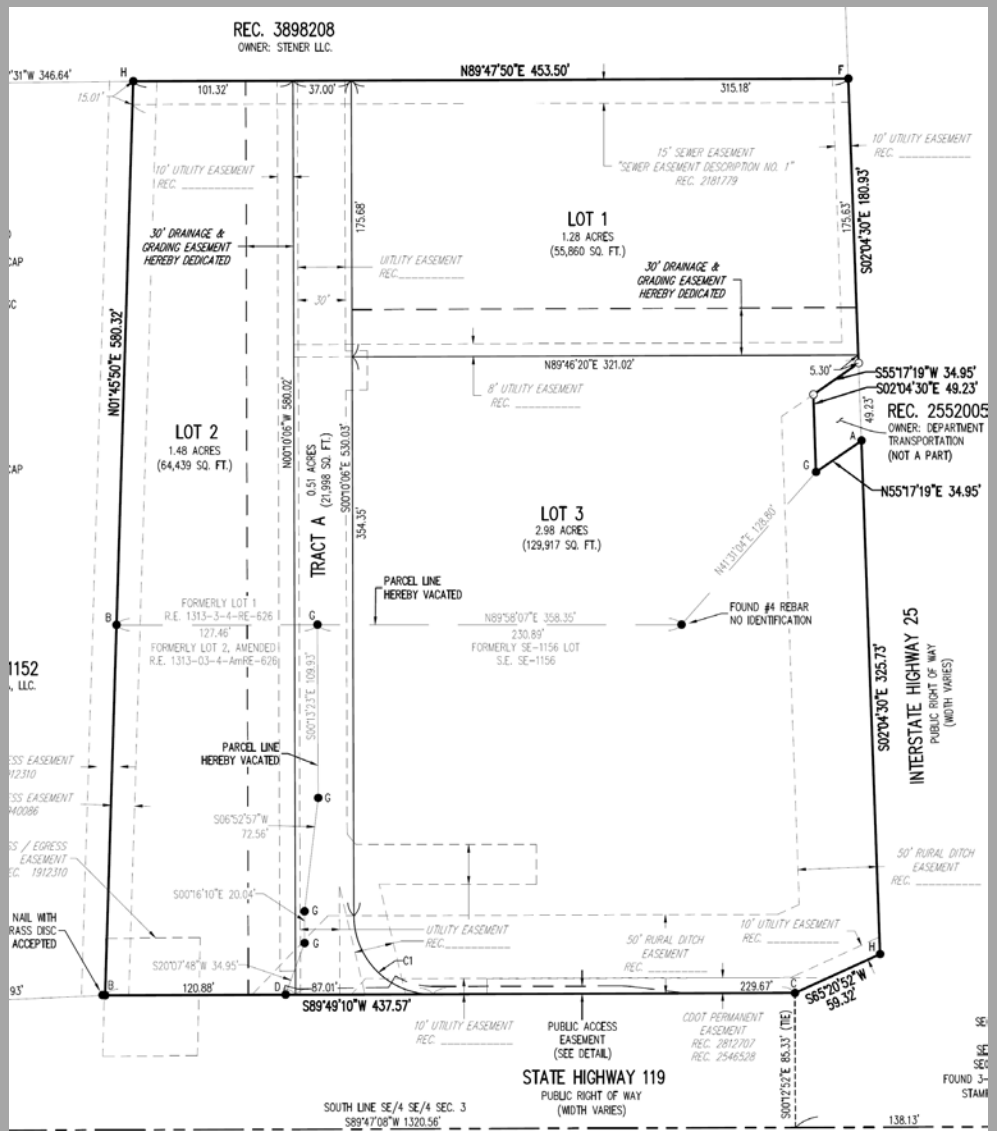

HIGHWAY 119 WB
HIGHWAY 119 EB
WCR 24
INTERSTATE 25 SB
UNION ST
ARBOR ST
JAKE JABS BLVD
TURNER BLVD
TURNER AVE
ASH AVE
WCR 7 1/2
BUTTE DR
DURANGO PL
FORESTER PL

Site

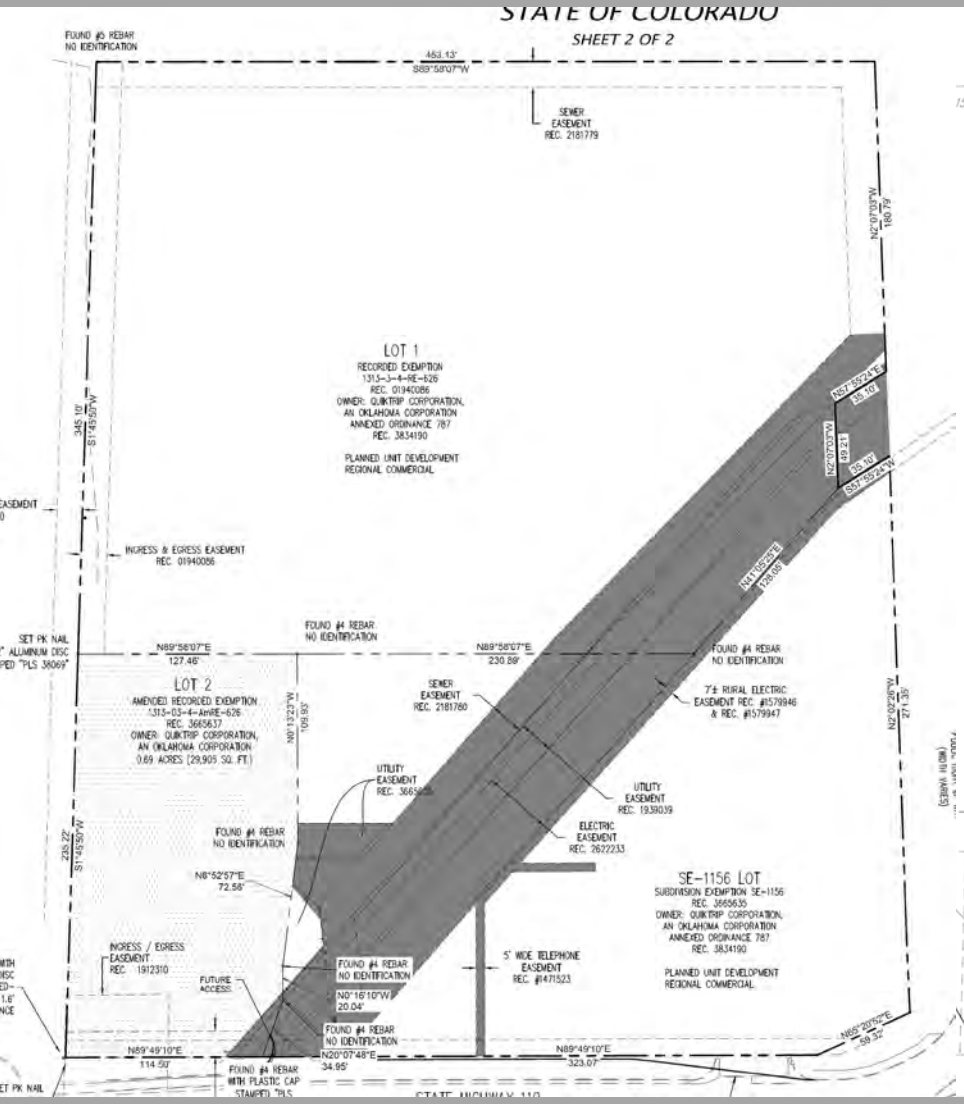
Proposed Plat

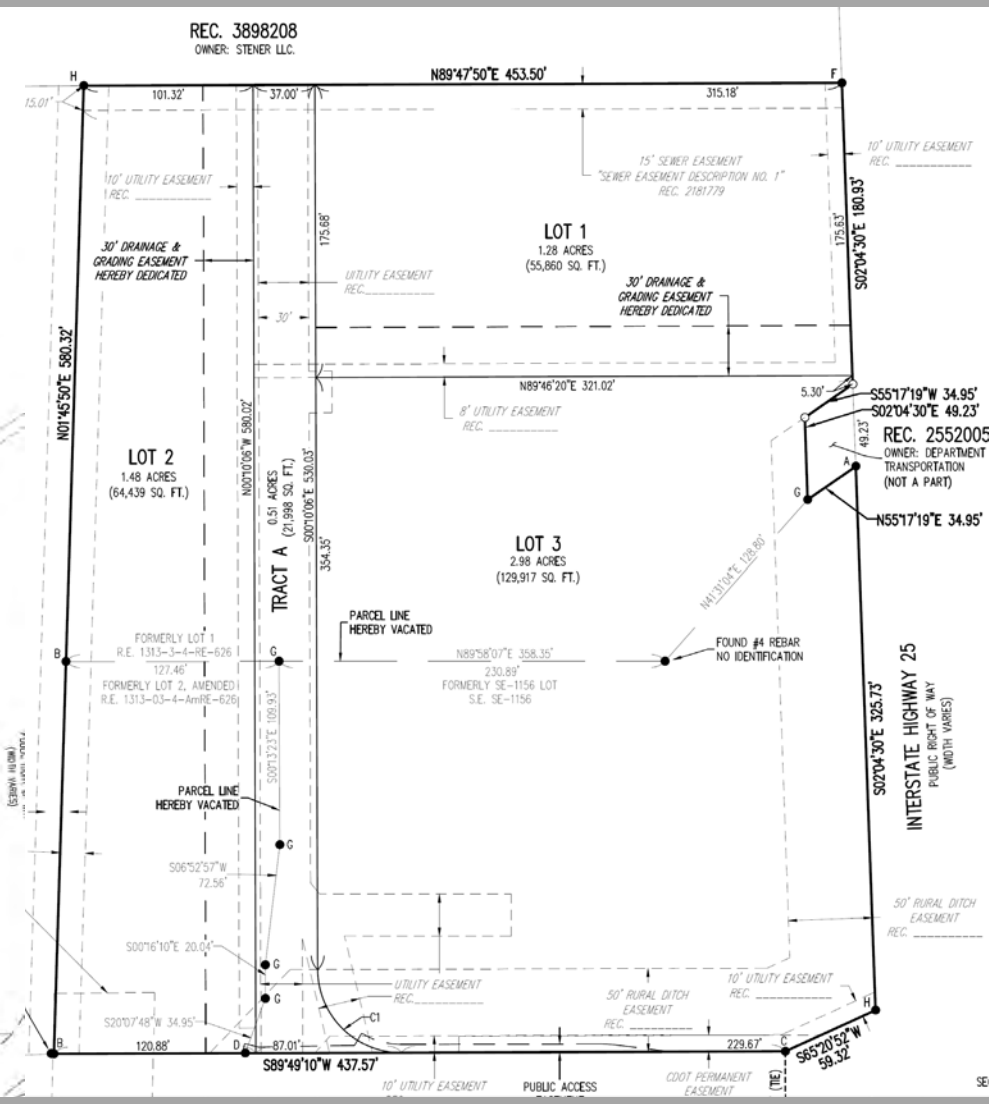


Proposed Plat



Proposed Plat

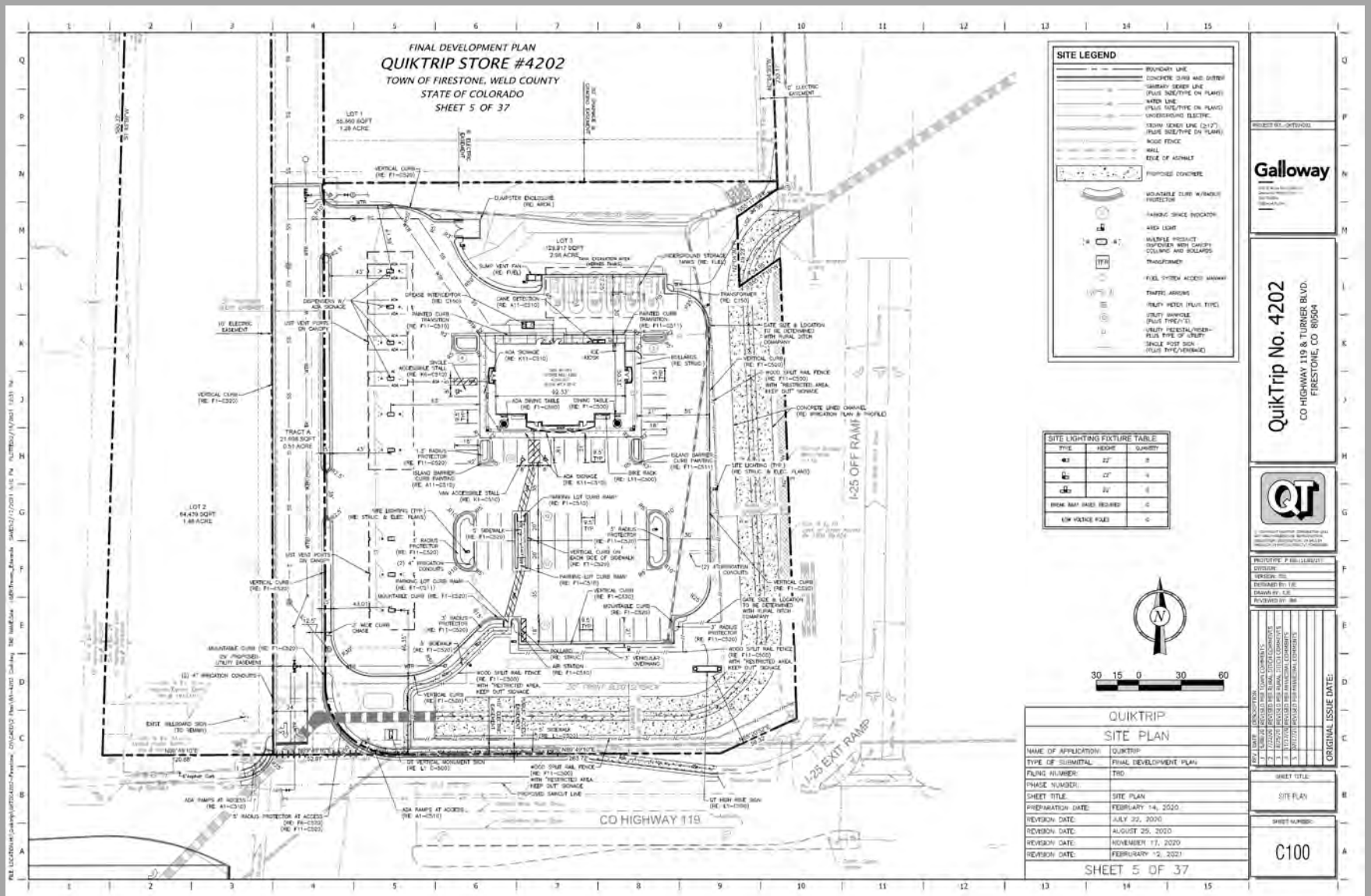




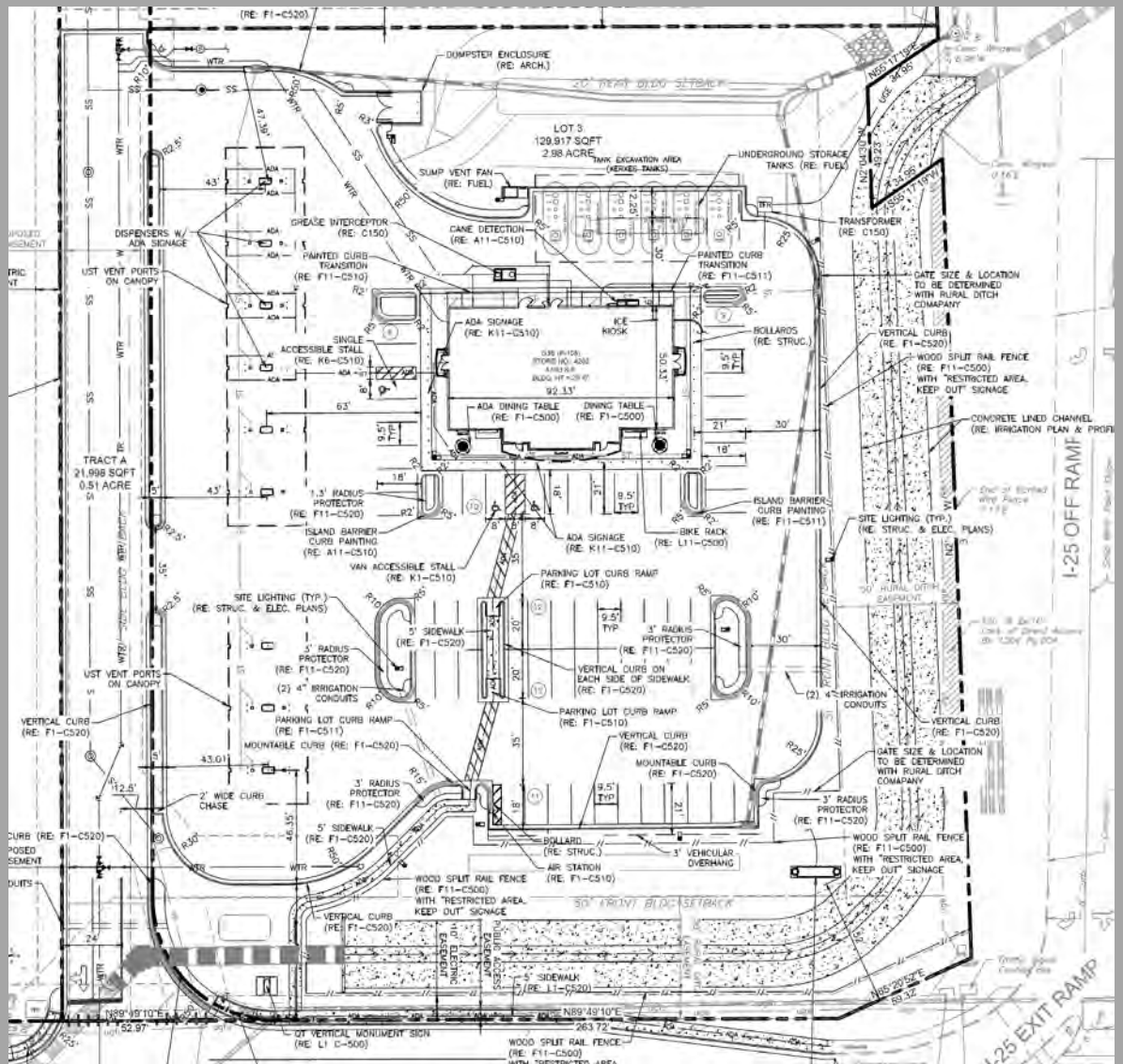
Site

Site

Proposed FDP



FDP Site Plan



Building

Front Elevation

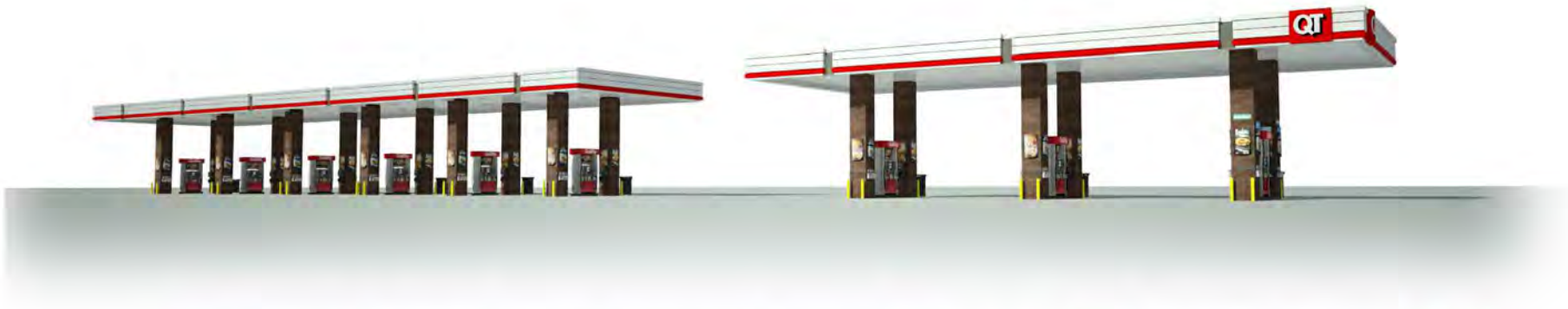
Right Elevation

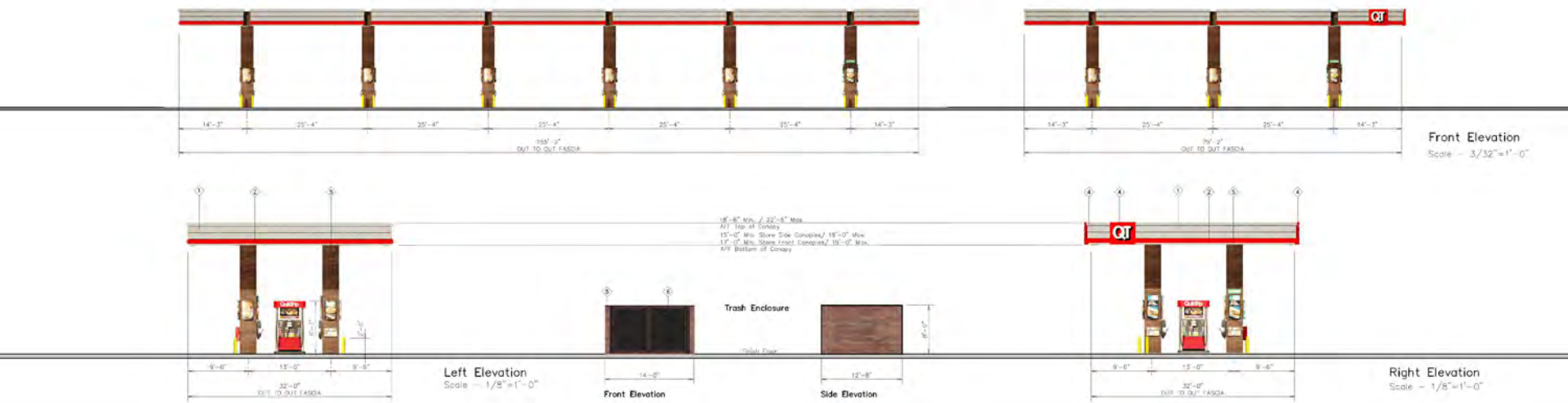
Rear Elevation

Left Elevation

QUIKT	
EXTERIOR EL	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVE
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	EXTERIOR
PREPARATION DATE:	FEBRUARY
REVISION DATE:	JULY 22,
REVISION DATE:	AUGUST 25
REVISION DATE:	NOVEMBER
REVISION DATE:	FEBRURARY
SHEET 36	

Canopy & Trash Enclosure

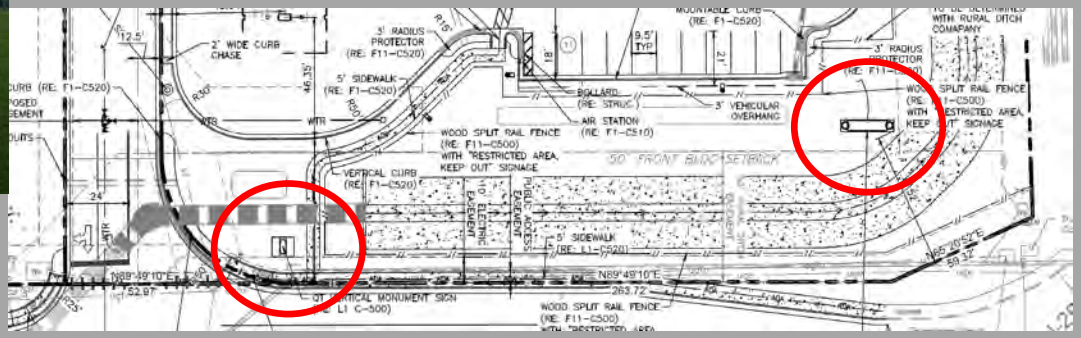




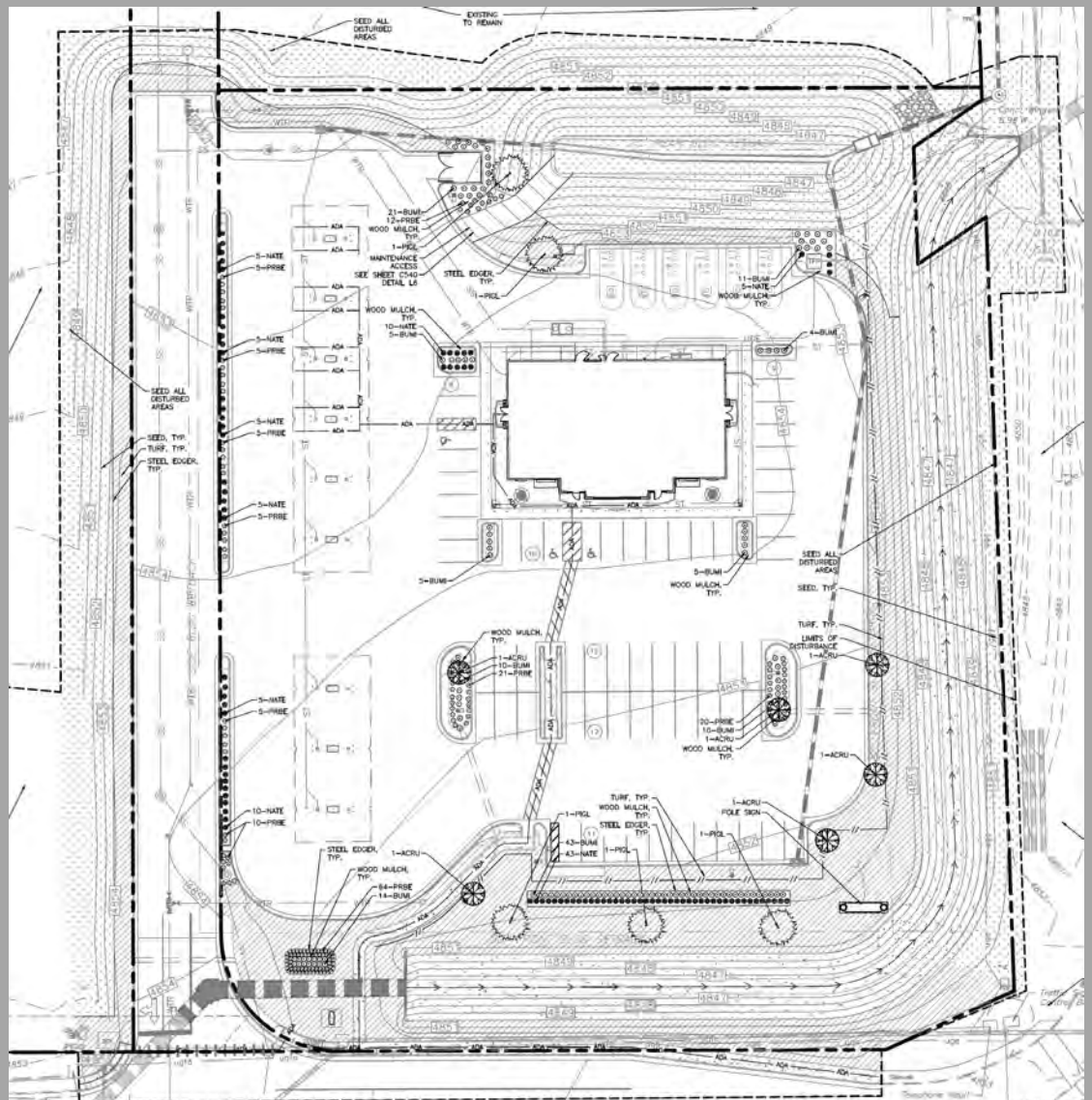
Signage

QT
QT Kitchens
Unlead
2.38
Diesel
2.98
Guaranteed Gasoline
CREDIT
FIRESTONE
COLORADO

QT
Unlead
2.38
Diesel
2.98
QT Kitchens
CREDIT


2' WIDE CURB CHASE
3' RADIUS PROTECTOR (RE: F11-C520)
5' SIDEWALK (RE: F1-C520)
BOLLARD (RE: STRUC.)
AIR STATION (RE: F1-C510)
3' VEHICULAR OVERHANG
WOOD SPLIT RAIL FENCE (RE: F11-C500) WITH "RESTRICTED AREA, KEEP OUT" SIGNAGE
VERTICAL CURB (RE: F1-C520)
50' FRONT BLDG SETBACK
ELECTRIC EASEMENT
PUBLIC ACCESS EASEMENT
5' SIDEWALK (RE: L1-C520)
N89°49'10"E
263.72
WOOD SPLIT RAIL FENCE (RE: F11-C500)

FDP Landscape Plan



Staff Recommendation

Town staff recommends the Planning & Zoning Commission approve draft Resolution PC-21- 03, a resolution recommending approval of the Turner Commons Filing No. 1 Final Plat application to the Board of Trustees with the following conditions:

- Modify plans and application materials pursuant to comments of the Planning & Development Department set forth in memoranda dated March 9, 2021, to the Town's satisfaction.
- Provide an updated title commitment when the mylars are provided for recording, dated no later than thirty (30) days prior to submission of mylars.
- Technical corrections to the Turner Commons Filing No. 1 Final Plat shall be made to the Town's satisfaction.
- Within one hundred and eighty (180) days of the date of this resolution, the Applicant shall submit documentation of recorded vacations for the existing easements on the property.

Staff Recommendation

Town staff recommends the Planning & Zoning Commission approve draft Resolution PC-21- 04, a resolution recommending approval of the Lot 3 Turner Commons Filing No. 1 Final Development Plan application to the Board of Trustees with the following conditions:

- Modify plans and application materials pursuant to comments of the Planning & Development Department set forth in memoranda dated March 9, 2021, to the Town's satisfaction within one hundred and eighty (180) days of the date of this resolution.
- Technical corrections to the Lot 3 Turner Commons Filing No. 1 Final Development Plan shall be made to the Town's satisfaction.
- Lot 3 Turner Commons Filing No. 1 Final Development Plan shall not be recorded until the Turner Commons Filing No. 1 Final Plat is recorded.

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884 • GallowayUS.com

Memorandum

To: Town of Firestone
Planning Department

From: Galloway and Company, Inc
Aaron McLean

Date: March 22, 2021

Re: Public Hearing Option
Orientation Telephonic Participation Policy

Ms. Berry:

We represent QuikTrip Corporation in connection with its pending application with the Town of Firestone. Galloway and Company, Inc., as the applicant in such application, hereby expressly authorizes the Town to proceed with conducting the Planning & Zoning Commission public hearing and the Town Board public hearing for the Turner Commons Filing 1 Final Plat and the Turner Commons F1 Lot 3 (QuikTrip) Final Development Plan under the Town's Orientation Telephonic Participation Policy. The applicant understands that the hearing will include accommodations made for Telephonic Participation by the applicant and/or the public. The applicant is waiving any legal challenge on the basis that the hearing will be conducted via Telephone Participation.

FIRESTONE PLANNING AND ZONING COMMISSION

RESOLUTION NO. PC-21-04

A RESOLUTION RECOMMENDING APPROVAL OF A FINAL DEVELOPMENT PLAN FOR LOT 3 TURNER COMMONS FILING NO. 1

WHEREAS, there has been submitted to the Planning and Zoning Commission of the Town of Firestone a request for approval of a final development plan for Lot 3 Turner Commons Filing No. 1; and

WHEREAS, all materials related to the application have been reviewed by Town Staff and found with conditions to be in compliance with Town of Firestone subdivision and zoning ordinances, Development Regulations, and related Town ordinances, regulations, and policies; and

WHEREAS, after a duly-noticed public hearing, at which evidence and testimony were entered into the record, the Planning and Zoning Commission finds the application to be in compliance with Town of Firestone subdivision and zoning ordinances, Development Regulations, and related Town ordinances, regulations, and policies and should therefore be approved, subject to those conditions set forth herein.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF FIRESTONE, COLORADO:

Section 1. The Planning and Zoning Commission hereby recommends approval of the proposed final development plan for Lot 3 Turner Commons Filing No. 1, subject to the conditions set forth on Exhibit A attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 1st day of April, 2021.

_____
Chairperson

ATTEST:

_____
Secretary

EXHIBIT A
Lot 3 Turner Commons Filing No. 1 Final Development Plan
Conditions of Approval

General

1. Modify plans and application materials pursuant to comments of the Planning & Development Department set forth in memoranda dated March 9, 2021, to the Town's satisfaction within one hundred and eighty (180) days of the date of this resolution.

2. Technical corrections to the Lot 3 Turner Commons Filing No. 1 Final Development Plan shall be made to the Town's satisfaction.

3. Lot 3 Turner Commons Filing No. 1 Final Development Plan shall not be recorded until the Turner Commons Filing No. 1 Final Plat is recorded.

FINAL DEVELOPMENT PLAN
QUIKTRIP STORE #4202
TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 1 OF 37

GENERAL NOTES:

1. IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
2. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS HAVE BEEN OBTAINED FROM THE GOVERNING AGENCIES AND COORDINATING ALL GOVERNING AGENCY INSPECTIONS REQUIRED THROUGHOUT THE DURATION OF THE PROJECT.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF THE EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. REFERENCE SITE WORK SPECIFICATIONS.
4. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
5. THE CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR DAMAGE TO ADJACENT PROPERTIES AND NEW CONSTRUCTION IN PLACE DURING THE CONSTRUCTION PHASES OF THIS PROJECT. ANY DISTURBED IMPROVEMENTS SHALL BE REPLACED IN KIND AT THE CONTRACTORS EXPENSE.
6. ANY QUANTITIES PROVIDED ON THESE PLANS ARE FOR GENERAL REFERENCE PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE QUANTITIES REQUIRED FOR CONSTRUCTION.
7. THE EXISTING FEATURES SHOWN ON THESE PLANS ARE THOSE NOTED IN THE FIELD AND THOSE TAKEN FROM RECORD DRAWINGS. THERE IS NO GUARANTEE THAT ALL FEATURES (ABOVE OR BELOW GROUND) ARE SHOWN ON THE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING FEATURES PRIOR TO BIDDING THE PROJECT.
8. THE CONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION BY CONTACTING THE LOCAL UTILITY COMPANIES AND/OR UTILIZING THE LOCAL ONE-CALL SYSTEM. ANY DAMAGE DONE TO EXISTING UTILITIES (THAT ARE TO REMAIN IN PLACE) DURING CONSTRUCTION OPERATIONS WILL BE THE CONTRACTOR'S RESPONSIBILITY AND REPAIRED AT THE CONTRACTOR'S EXPENSE.
9. ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNERS CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK SHALL MEET OR EXCEED THE RELEVANT UTILITY COMPANIES AND REGULATORY AGENCIES, CONTRACT DOCUMENTS AND SPECIFICATIONS. ALL WORK WITHIN PUBLIC AND STATE RIGHT OF WAY SHALL BE IN ACCORDANCE WITH THE GOVERNING AGENCIES STANDARDS AND SPECIFICATIONS.
10. TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), CURRENT EDITION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE PROPER TRAFFIC CONTROL IS IN PLACE FOR EACH PHASE OF CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROPERLY MAINTAINING TRAFFIC CONTROL DEVICES THROUGHOUT THE DURATION OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PLANS TO THE CITY AND DEPARTMENT OF TRANSPORTATION AS REQUIRED.
11. PRAIRIE DOGS INHABITING PORTIONS OF THE SITE SHALL BE RELOCATED OR HUMANELY EUTHANIZED BY THE DEVELOPER OR DEVELOPER'S AGENT USING LEGALLY APPROVED METHODS FOR RELOCATION AND EUTHANASIA WHICH DO NOT DISPLACE PRAIRIE DOGS ONTO OTHER PROPERTIES PRIOR TO THE ONSET OF CONSTRUCTION ACTIVITY. DESTRUCTION OF PRAIRIE DOG TOWNS SHALL NOT OCCUR DURING THE NESTING SEASON (MAY 15 – SEPTEMBER 15) OR THE BURROWING OWL UNLESS THE TOWN HAS BEEN SURVEYED BY A PROFESSIONAL BIOLOGIST/ECOLOGIST FAMILIAR WITH BURROWING OWL BEHAVIOR AND IT IS FOUND THAT BURROWING OWLS ARE NOT ENGAGED IN NESTING/BRODD-REARING ACTIVITIES.

WARRANTY/DISCLAIMER:

THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.

NOTICE TO BIDDERS:

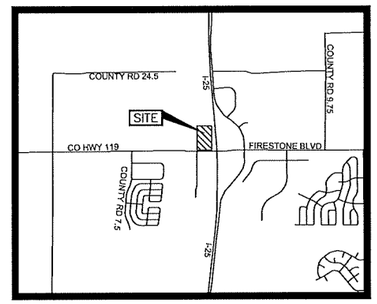
ALL QUESTIONS REGARDING THE PREPARATION OF THE GENERAL CONTRACTOR'S BID SHALL BE DIRECTED TO THE OWNER'S CONSTRUCTION REPRESENTATIVE. SUBCONTRACTORS MUST DIRECT THEIR QUESTIONS THROUGH THE GENERAL CONTRACTOR. THE CONSULTING ARCHITECT AND/OR THE CONSULTING ENGINEER SHALL NOT BE CONTACTED DIRECTLY WITHOUT PRIOR AUTHORIZATION FROM THE OWNER/DEVELOPER.

FLOOD CERTIFICATION:

THIS PROPERTY LIES IN ZONE "X" AND DOES NOT LOCATE WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE WELD COUNTY, CO, COMMUNITY PANEL NUMBER 08123C1890E EFFECTIVE DATE JANUARY 20, 2016.

LAND USE TABLE	
LOT AREA	129,917 S.F. (2.98 ACRES)
BUILDING (SF)	4,993 SF
CANOPY (SF)	7,435 SF
BUILDING & CANOPY	12,428 SF (9.6%)
PAVED AREA	77,960 SF (60.0%)
PERVIOUS AREA	40,140 SF (30.4%)
IMPERVIOUS AREA	90,388 SF (69.6%)

PARKING COUNT TABLE	
BUILDING (SF)	4,993 SF
REQUIRED PARKING	20 SPACES (1 PER 250 SF)
PROVIDED PARKING	61 SPACES
REQUIRED ADA	3 SPACES (1 VAN ACCESSIBLE)
PROVIDED ADA	3 SPACES (1 VAN ACCESSIBLE)



Vicinity Map
Not to Scale

Sheet List Table

SHEET NUMBER	SHEET	DESCRIPTION
1	C001	COVER SHEET
2	C002	NARRATIVE SHEET
3	C003	WATER NOTES SHEET
4	C030	DEMOLITION PLAN
5	C100	SITE PLAN
6	C110	GRADING PLAN
7	C111	BUILDING DETAILED GRADING PLAN
8	C120	STORM SEWER PLAN
9	C122	POST DEVELOPED DRAINAGE MAP
10	C140	EROSION CONTROL PLAN PHASE 1
11	C141	EROSION CONTROL PLAN PHASE 2
12	C150	SOUTH UTILITY PLAN
13	C151	NORTH UTILITY PLAN
14	C152	WATER PLAN & PROFILE
15	C153	SEWER PLAN & PROFILE
16	C160	PHOTOMETRIC PLAN
17	C161	PHOTOMETRIC DETAILS
18	C162	PHOTOMETRIC DETAILS
19	L100	LANDSCAPE PLAN
20	L110	IRRIGATION PLAN
21	L500	LANDSCAPE DETAILS
22	L510	IRRIGATION DETAILS
23	L511	IRRIGATION DETAILS
24	C500	MISC. SITE DETAILS
25	C501	EROSION CONTROL DETAILS
26	C510	ADA DETAILS
27	C511	ADA DETAILS
28	C520	PAVING DETAILS
29	C540	DRAINAGE DETAILS
30	C541	DRAINAGE DETAILS
31	C580	WATER DETAILS
32	C581	WATER DETAILS
33	C582	SEWER DETAILS
34	C590	SIGNAGE DETAILS
35	C591	BUILDING RENDERING
36	37	EXTERIOR ELEVATIONS
37	38	EXTERIOR ELEVATIONS

MUNICIPAL CONTACT LIST:

TOWN OF FIRESTONE

PLANNING DEPARTMENT
151 GRANT AVENUE
FIRESTONE, CO, 80520
TEL: (303) 833-3291
CONTACT: MILLISSA BERRY

ENGINEERING DEPARTMENT
151 GRANT AVENUE
FIRESTONE, CO, 80520
TEL: (303) 531-6254
CONTACT: MATT WIEDERSPAHN

FREDERICK FIRESTONE FIRE PROTECTION DISTRICT
8426 KOSMERL PLACE
FREDERICK, CO, 80504
TEL: (303) 833-2742
FAX: (303) 833-3736
CONTACT: STEVE IACINO

ST. VRAIN SANITATION DISTRICT
11307 BUSINESS PARK CIRCLE
FIRESTONE, CO, 80504
TEL: (303) 776-9570
FAX: (303) 485-1968
CONTACT: DAVID CROSS

CDOT REGION 4
10601 W. 10TH ST.
GREELEY, CO, 80634
TEL: (970) 350-2148
FAX: (970) 350-2198
CONTACT: TIM BILOBRAN

LEFT HAND WATER DISTRICT
P.O. BOX 210
NIWOT, CO, 80544-0210
TEL: (303) 530-4200
CONTACT: MARTIN HARDERS

UNITED POWER
500 COOPERATIVE WAY
BRIGHTON, CO 80603
TEL: (303) 659-0551

CENTURY LINK
TEL: 1(800) 283-4237

PROJECT CONTACT LIST:

SURVEYOR OF RECORD
MCCLURE ENGINEERING CO.
STAN LLOYD
1700 SWIFT, SUITE 100
NORTH KANSAS CITY, MO, 64116
TEL: (816) 756-0444
FAX: (816) 756-1763

ENGINEER OF RECORD
GALLOWAY & CO.
JENNY ROMANO, P.E.
6162 S. WILLOW DR., SUITE 320
GREENWOOD VILLAGE, CO, 80111
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FAX: (303) 770-3636

QT REAL ESTATE PROJECT MANAGER
QUIKTRIP CORPORATION
MIKE TALCOTT
1499 WEST 120TH AVENUE, SUITE 110
WESTMINSTER, CO 8023-2719
TEL: (913) 593-1690

QT CIVIL PROJECT MANAGER
QUIKTRIP CORPORATION
JOSH POTTER
4705 SOUTH 129TH EAST AVE.
TULSA, OK 74134
TEL: (918) 615-7685

TOWN APPROVAL BLOCK

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE, COLORADO THIS

_____ DAY OF _____, _____, BY RESOLUTION NO._____.

_____. MAYOR

_____. ATTEST: TOWN CLERK

RURAL DITCH COMPANY APPROVAL BLOCK

APPROVED BY THE RURAL DITCH COMPANY THIS

_____ DAY OF _____, _____.

_____. _____. ATTEST:

ACCEPTANCE BLOCK AND NOTARY

BY SIGNING THIS FDP, THE OWNER ACKOWLEDGES AND ACCEPTS ALL OF THE REQUIREMENTS AND INTENT SET FORTH HEREIN.

BY:_____.
OWNER

STATE OF COLORADO)
)SS
COUNTY OF WELD)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____DAY OF _____, A.D. _____, BY _____ AS _____ FOR TOWN OF FIRESTONE, COLORADO.

WITNESS MY HAND AND OFFICIAL SEAL

_____.
NOTARY PUBLIC

_____.
MY COMMISSION EXPIRES

LEGAL DESCRIPTION:

LOT 3, TRACT A AND PORTIONS OF LOT 1 AND LOT 2, TURNER COMMONS FILING NO. 1. A PORTION OF THE 1/4 OF SECTION 3, TOWNSHIP 2 NORTH, RANGE 68 WEST OF THE 6TH P.M., COUNTY OF WELD, STATE OF COLORADO.

BENCHMARKS:

BM-1 SET "o" ON THE NORTHEAST CORNER OF A TRANSFORMER PAD. 50'± NORTH NORTHWEST TO A PK NAIL AT THE SOUTHWEST CORNER OF THE PROPERTY. ELEVATION=4853.60'

BM-2 FOUND "+" CUT ON NORTH CURB RETURN, EAST SIDE OF THE ENTRANCE TO THE PROPERTY OFF OF STATE ROUTE 119. ELEVATION=4853.93'

BM-3 SET "o" ON THE SOUTH END, EAST EDGE OF A CONCRETE HEADWALL, WEST SIDE OF OFF RAMP FROM SOUTH BOUND INTERSTATE 25. ELEVATION=4851.66'

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811 Know what's below. Call before you dig.

QUIKTRIP
COVER SHEET

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	COVER SHEET
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 1 OF 37

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
Galloway.us.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/22/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C001

FILE LOCATION: V:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\83-4202 Civil.dwg TAB NAME:Cover USER:Steven_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:41 PM

PROJECT CONCEPT

THE FINAL DEVELOPMENT PLAN (FDP) IS FOR A QUIKTRIP FACILITY, WHICH CONSISTS OF A CONVENIENCE STORE AND FUELING OPERATIONS. THE QUIKTRIP FDP IS PART OF THE PREVIOUSLY APPROVED TURNER COMMONS ANNEXATION AND TURNER COMMONS OUTLINE DEVELOPMENT PLAN (ODP), BOTH OF WHICH ARE BEING AMENDED CONCURRENTLY WITH THIS FDP TO ALLDW FDR THE REDEVELOPMENT OF THE ENTIRE 6.27–ACRE PARCEL THAT WILL BE WITHIN THE TOWN OF FIRESTONE CORPORATE LIMITS. THE QUIKTRIP FDP IS PROPOSED LOT 3 OF A PROPDSED FINAL PLAT, TITLE TURNER COMMONS FILING NO. 1, WHICH CONSISTS OF APPROXIMATELY 2.98 ACRES. THE DEVELOPMENT WILL CONSIST OF AN APPROXIMATELY 4,993 SQUARE CONVENIENCE STORE BUILDING, NINE (9) FUELING STATIONS AND RELATED ON–SITE PARKING, SITE LIGHTING, SIGNAGE AND LANDSCAPING TO ACCOMMODATE THE PROPOSED QUIKTRIP FACILITY.

ENVIRONMENTAL IMPACT MITIGATION

THE ENVIRONMENTAL SITE ASSESSMENT TITLED "PHASE I AND LIMITED PHASE II ENVIRONMENTAL SITE ASSESSMENT REPORT" DATED JUNE 18, 2019 PREPARED BY APEX COMPANIES, LLC STATES: "THE RURAL DITCH MAY BE CONSIDERED A WETLAND AND WATER OF THE UNITED STATES (U.S.) ON THE SUBJECT PROPERTY." THE US ARMY CORPS DF ENGINEERS (ACOE) WILL NEED TO DETERMINE IF THE WETLANDS IDENTIFIED IN THIS REPORT ARE CONSIDERED JURISDICTIONAL AND PROPER PROCESS AFTER DETERMINATION WILL BE REQUIRED. FURTHERMORE, THE ESA STATES THAT "DURING SITE RECONNAISSANCE, APEX PERSONNEL OBSERVED BOTH LIVE PRAIRIE DOGS AND EVIDENCE OF PRAIRIE DOG DENS AT THE SUBJECT PROPERTY." AS SUCH, PRAIRIE DOGS INHABITING PORTIONS OF THE SITE SHALL BE RELOCATED OR HUMANELY EUTHANIZED BY THE DEVELOPER OR DEVELOPER'S AGENT USING LEGALLY APPROVED METHODS FOR RELDCATION AND EUTHANASIA WHICH DO NOT DISPLACE PRAIRIE DOGS ONTO OTHER PROPERTIES PRIOR TO THE ONSET OF CONSTRUCTION ACTIVITY. DESTRUCTION OF PRAIRIE DOG TOWNS SHALL NOT OCCUR DURING THE NESTING SEASON (MAY 15 – SEPTEMBER 15) OF THE BURROWING OWL UNLESS THE TOWN HAS BEEN SURVEYED BY A PROFESSIONAL BIOLOGIST/ECOLOGIST FAMILIAR WITH BURROWING OWL BEHAVIOR AND IT IS FOUND THAT BURRDWING OWLS ARE NOT ENGAGED IN NESTING/BROOD–REARING ACTIVITIES.

PRIVATE MAINTENANCE AND ENFORCEMENT

THIS SITE WILL BE PRIVATELY MAINTAINED. NECESSARY CROSS–ACCESS AND UTILITY EASEMENTS AS WELL AS AGREEMENTS FOR ANY COMMON ROADWAYS AND/OR ACCESS POINTS ARE PROVIDED AS PART OF THE DEVELOPMENT.

ADA COMPLIANCE

THE FDP HAS BEEN DESIGNED TO THE BEST OF THE DESIGNER'S KNOWLEDGE AND ABILITIES TO COMPLY WITH THE AMERICAN'S WITH DISABILITIES ACT.

CONTROLS

DECLARATION AND RECIPROCAL EASEMENTS AND RESTRICTIONS WILL BE ESTABLISHED AND PRIVATELY GOVERNED FOR THIS DEVELOPMENT.

DRAINAGE

THE SITE IS DESIGNED TO CDNFORM TO THE APPROVED FINAL DRAINAGE REPORT FOR THIS DEVELOPMENT, DATED NOVEMBER 17, 2020. WHICH WAS PREPARED BY GALLDWAY.

WATER DEDICATION

WATER FOR THIS SITE IS PROVIDED BY LEFTHAND WATER DISTRICT. ALL WATER DEDICATIONS AND SERVICES WILL BE BETWEEN LEFTHAND WATER DISTRICT AND THE PROPERTY OWNER/DEVELOPER.

UTILITIES

NEW UTILITY LINES FOR WATER, SANITARY SEWER, STORM DRAIN, ELECTRIC AND TELEPHONE WILL BE CONSTRUCTEO AS PART OF THE APPROVED FDP. ONE 1.5 INCH WATER METER WILL BE PROVIDED WITH A 2 INCH SERVICE LINE FOR THE BUILDING AND A 1 INCH IRRIGATION METER WITH A 1.5 INCH IRRIGATION LINE. A 6 INCH SANITARY SEWER LINE WILL BE USED TO SERVICE THE BUILDING.

WETLANDS NOTICE:

ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIDNS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/ DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.

ARCHITECTURE

THE QUIKTRIP BUILDING IS A ONE–STORY, FREESTANDING STRUCTURE WITH TWO (2) PUMP ISLAND CANOPIES.
THE BUILDING ARCHITECTURAL DESIGN INCORPORATES COLORS, MATERIALS AND DESIGN FEATURES THAT ARE CONSISTENT WITH THE TOWN OF FIRESTONE DEVELOPMENT CODE FOR COMMERCIAL USES. THE QUIKTRIP BUILDING UTILIZED ARCHITECTURAL AND STRUCTURAL BRICK MATERIAL ON ALL SIDES, WITH TOWER AND AWNING ELEMENTS TO PROVIDE VISUAL RELIEF AND SENSE OF SCALE. THE USE OF EIFS MATERIAL AND METAL ACCENTS PROVIDE ADDITIONAL MATERIAL VARIATIONS TO THE BUILDING FACADES. THE CANOPIES AND TRASH ENCLOSURES CONTINUE THIS ARCHITECTURAL THEME WITH THE USE OF SIMILAR MATERIAL AND COLOR PALETTE.

SETBACK

PRINCIPAL BUILDING SETBACK ARE SHOWN ON THE SITE PLAN SHEET INCLUDED WITH THIS FDP. ALL SETBACKS MEET FIRESTONE DEVELOPMENT REGULATIONS AND TOWN CODES. PLEASE NOTE THAT THE SETBACK ALONG THE EAST PROPERTY LINE IS CONSIDEREO A FRONT SETBACK.

SETBACK TABLE	
FRONT	50 FT.
REAR	20 FT.
SIDE	10 FT.

DEVELOPMENT SCHEDULE

AFTER PERMITS ARE OBTAINED, IT IS ANTICIPATED CDNSTRUCTION WILL START 3 WEEKS LATER.

SIGNAGE

A SIGN PERMIT SHALL BE OBTAINED FRDM THE TOWN OF FIRESTONE PRIOR TO THE CONSTRUCTION OF ANY SIGN. ALL SIGN PERMIT APPLICATIONS SHALL BE CONSISTENT WITH THE INFDRMATION PROVIDED IN THIS FDP. TRAFFIC CONTROL AND ANCILLARY SIGNS WILL BE PROVIDED ON THE SITE. ALL SIGN LOCATIONS SHALL BE APPROVED BY THE TOWN ENGINEER PRIOR TO INSTALLATION.

CIRCULATION SYSTEM

DIRECT ACCESS TO THE SITE IS PROPOSED FROM HWY 119 WHICH IS A PUBLIC CDOT ROAD. IMPROVEMENTS FOR THE ACCESS ARE SHOWN IN THIS FDP.

ZONING AND ALLOWED USES

THIS SITE IS ZONED PLANNED UNIT DEVELOPMENT WITH REGIONAL COMMERCIAL LAND USES, WHICH ALLOWS FOR A GAS STATION/CONVENIENCE STORE USE.

UTILITY SERVICE REQUIREMENTS

ELECTRIC – UNITED POWER
TELEPHONE – CENTURY LINK
WATER – LEFT HAND WATER DISTRICT
SANITARY SEWER – ST. VRAIN SANITATION DISTRICT
POLICE – TOWN OF FIRESTONE
FIRE – FREDERICK FIRESTONE FIRE PROTECTION DISTRICT
NATURAL GAS – SOURCE GAS

BUILDING ADDRESS

TBD

SITE OPERATIONS

STORE HOURS OF OPERATIONS ARE 24 HOURS A DAY, 7 DAYS A WEEK.

QUIKTRIP NARRATIVE	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	NARRATIVE
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 2 OF 37	

PROJECT NO.: QKT004202

Galloway
8162 S. Willow St. Ste. 320
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303.770.5644
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QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
NARRATIVE

SHEET NUMBER:
C002

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\03-4202 Civil.dwg TAB NAME:Narrative USER:Trevan_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:41 PM

LEFT HAND WATER DISTRICT GENERAL NOTES:

1. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE FIELD LOCATES OF ALL EXISTING UTILITIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. CONTRACTOR SHALL ALSO NOTIFY ALL AFFECTED UTILITY COMPANIES PRIOR TO COMMENCING CONSTRUCTION. IN EVENT OF DAMAGE TO ANY EXISTING UTILITY CONTRACTOR SHALL IMMEDIATELY NOTIFY OWNER OF THE UTILITY INVOLVED AND, UNLESS AUTHORIZED IN WRITING BY THE OWNER OF THE SUBJECT UTILITY, SHALL NOT ATTEMPT TO MAKE REPAIRS.

2. CONTRACTOR SHALL CONTINUOUSLY MAINTAIN ADEQUATE PROTECTION FROM DAMAGE OF ALL PUBLIC AND PRIVATE PROPERTY THROUGH WHICH THE WORK IS DONE.

3. ALL WATER MAIN INSTALLATION WITHIN THE LEFT HAND WATER DISTRICT SHALL BE SUBJECT TO CURRENT OSHA AND COSHA SAFETY REQUIREMENTS. CONTRACTOR SHALL ALSO COMPLY WITH ANY AND ALL REQUIREMENTS AND REGULATIONS AS SET FORTH BY CITY, COUNTY, STATE AND FEDERAL AGENCIES HAVING APPLICABLE AUTHORITY.

4. NO CONSTRUCTION SHALL BEGIN WITHOUT PRIOR DESIGN APPROVAL FROM LEFT HAND WATER DISTRICT. THE DISTRICT SHALL BE NOTIFIED TWO (2) BUSINESS DAYS IN ADVANCE OF COMMENCING CONSTRUCTION OR TESTING TO ALLOW FOR SCHEDULING (303-530-4200). THE DISTRICT SHALL INSPECT THE CONSTRUCTION AS NECESSARY AND SHALL OBSERVE ALL LINE TESTING. CONSTRUCTION OR TESTING SHALL CONFORM TO DISTRICT SPECIFICATIONS AT ALL TIMES. CONTRACTOR IS RESPONSIBLE FOR APPLYING AND SECURING STATE, COUNTY OR CITY PERMITS; INCLUDING BUT NOT LIMITED TO, STORM WATER DISCHARGE, UTILITY ROW, GROUNDWATER DISCHARGE PERMIT(S), IF REQUIRED. NO VERBAL AUTHORIZATION FOR FIELD REVISION SHALL BE GIVEN. ALL REQUESTS FOR SUCH FIELD REVISION SHALL BE MADE IN WRITING ACCOMPANIED BY PROPOSED CHANGE INDICATED ON COPY OF THE APPROVED DESIGN DRAWINGS. ANY FIELD REVISION APPROVED AND INSTALLED SHALL ALSO BE ACCURATELY DOCUMENTED ON AS-BUILT DRAWINGS AS DETAILED IN ITEM 15 OF THESE NOTES.

5. MATERIALS:
PLASTIC PIPE – ALL WATER PIPING SHALL BE POLYVINYL CHLORIDE (PVC) UNLESS OTHERWISE NOTED. ALL PVC PIPING THROUGH 12-INCH SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C900, "POLYVINYL CHLORIDE (PVC) PRESSURE PIPE, 4-INCH THROUGH 12-INCH, FOR WATER DISTRIBUTION". ALL PVC PIPING 14-INCH THROUGH 36INCH SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C905, "POLYVINYL CHLORIDE (PVC) WATER TRANSMISSION PIPE, NOMINAL DIAMETERS 14-INCH THROUGH 36". PVC PIPING SHALL BE INSTALLED WITH A TEN OR TWELVE GAUGE SINGLE STRAND COPPER UF-UL WIRE, PLASTIC COATED, SIX HUNDRED (600) VOLT TAPED TO TOP OF PIPE AND SURFACED AT TEST STATIONS AT NO GREATER THAN 1000 LINEAR FEET INTERVALS. PIPE JOINTS SHALL BE MADE USING AN INTEGRAL BELL WITH AN ELASTOMERIC GASKET PUSH-ON TYPE JOINT OR USING MACHINED COUPLINGS OF A SLEEVE TYPE WITH RUBBER RING GASKETS AND MACHINED PIPE ENDS TO FORM A PUSH-ON TYPE JOINT. ALL MATERIALS INSTALLED SHALL BE FREE OF MANUFACTURER DEFECTS. ANY DEFECTIVE OR DAMAGED MATERIALS NOTED ON THE CONSTRUCTION SITE SHALL BE SO MARKED AND REMOVED FROM THE SITE. ALL FITTINGS SHALL BE MECHANICAL JOINT, CAST IRON OR DUCTILE, 250 PSI, MANUFACTURED IN ACCORDANCE WITH AWWA STANDARD C111. FITTINGS SHALL BE LINED AND COATED WITH FUSION BONDED EPOXY IN ACCORDANCE WITH AWWA SPECIFICATION C116. ALL TEE HEAD BOLTS AND HEXAGONAL NUT SHALL BE FABRICATED FROM HIGH STRENGTH TYPE 304 STAINLESS STEEL, IN ACCORDANCE WITH ASTM F-593.

GATE VALVE – GATE VALVES SHALL BE RESILIENT SEAT WITH NON-RISING STEM, CONFORMING TO AWWA STANDARD C515 INCLUDING A 2" OPEN LEFT OPERATING NUT. ALL TEE HEAD BOLTS AND HEXAGONAL NUT SHALL BE FABRICATED FROM HIGH STRENGTH TYPE 304 STAINLESS STEEL, IN ACCORDANCE WITH ASTM F-593.

FIRE HYDRANT ASSEMBLY – ALL FIRE HYDRANTS SHALL COMPLY WITH AWWA SPECIFICATION C-502. FIRE HYDRANTS SHALL BE FIVE AND ONE-QUARTER (5¼) INCH DIAMETER, DRY BARREL, AND THREE-WAY OPENING. THE HYDRANT SHOE SHALL BE A SIX (6) INCH DIAMETER FLANGED CONNECTION. THE OPENING NUT AND NOZZLE COVER NUTS SHALL BE NATIONAL STANDARD PENTAGON MEASURING ONE AND ONE-HALF (1½) INCH POINT TO OPPOSITE FLAT. THE VALVE SHALL OPEN LEFT (COUNTER-CLOCKWISE). DEPTH OF BURY SHALL BE MINIMUM OF FIVE (5) FEET. FIRE HYDRANTS MANUFACTURER IS LIMITED TO MUELLER SUPER CENTURION 200 OR 250 ONLY. CENTURION MODEL SHALL BE CONNECTED WITH STAINLESS BOLTS AND NUTS WHERE THE SHOE AND BARREL CONNECT. FIRE HYDRANTS SHALL EXACTLY MATCH LEFT HAND WATER DISTRICT FIRE HYDRANT COLOR, 'SAFETY RED.'

6. BEDDING: THE BEDDING AND PIPE ZONE MATERIAL SHALL BE CLEAN, FREE DRAINING WELL-GRADED SAND OR SQUEEGEE SAND AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND DRAWINGS.

7. CONCRETE: ALL STRUCTURAL CONCRETE SHALL CONTAIN NOT LESS THAN FIVE (5) SACKS OF CEMENT PER CUBIC YARD AND SHALL HAVE MINIMUM TWENTY EIGHT (28) DAY FIELD STRENGTH OF NOT LESS THAN FOUR THOUSAND (4,000) PSI WHEN TESTED IN SIX BY TWELVE (6 X 12) INCH CYLINDERS. THRUST BLOCK CONCRETE SHALL CONTAIN NOT LESS THAN THREE AND ONE HALF (3.5) SACKS OF CEMENT PER CUBIC YARD AND SHALL HAVE MINIMUM TWENTY EIGHT (28) DAY FIELD STRENGTH OF NOT LESS THAN TWO THOUSAND FIVE HUNDRED (2,500) PSI WHEN TESTED IN SIX BY TWELVE (6 X 12) INCH CYLINDERS.

8. BACKFILL: BACKFILL IS MATERIAL USED TO FILL THE TRENCH ABOVE THE PIPE ZONE. UNLESS OTHERWISE SPECIFIED FOR HYDROSTATIC TEST PURPOSES, ALL TRENCHES AND EXCAVATIONS SHALL BE BACKFILLED IMMEDIATELY AFTER THE PIPE IS LAID THEREIN, BUT NOT BEFORE THE PIPE HAS BEEN INSPECTED BY THE DISTRICT. BACKFILLING SHALL BE CONDUCTED IN A CONTINUOUS MANNER TO PREVENT DAMAGE TO THE PIPE AND KEPT AS CLOSE TO THE PIPE LAYING OPERATION AS POSSIBLE. BACKFILLING SHALL BE IN ACCORDANCE WITH THE ADDITIONAL REQUIREMENTS, IF ANY, OF APPROPRIATE AGENCIES OR PRIVATE ROW AGREEMENTS.

9. ALL FITTINGS, TEES, PLUGS AND FIRE HYDRANTS SHALL BE PROVIDED WITH MECHANICAL RESTRAINTS AND CONCRETE THRUST BLOCKS IN ACCORDANCE WITH DISTRICT SPECIFICATIONS. ALL FITTINGS, VALVES, FIRE HYDRANT SHOES AND PLUGS SHALL BE POLY WRAPPED PRIOR TO BACKFILL.

10. A MINIMUM COVER OF 5 FEET TO TOP OF PIPE SHALL BE MAINTAINED THROUGHOUT THE WATERLINE INSTALLATION. EXTRA BURY DEPTH MAY BE REQUIRED TO MAINTAIN MINIMUM COVER AT DRAINAGE CULVERT CROSSINGS AND/OR FIRE HYDRANT RUNS. MAXIMUM ALLOWABLE COVER SHALL BE 7 FEET, TO TOP OF PIPE, UNLESS SPECIFICALLY APPROVED BY THE DISTRICT.

11. ALL CONNECTIONS TO EXISTING WATERLINES SHALL BE COMPLETED, AT DEVELOPER'S EXPENSE, BY DISTRICT PERSONNEL OR THE DISTRICT'S AUTHORIZED CONTRACTOR WITH NO EXCEPTION.

12. ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH LEFT HAND WATER DISTRICT STANDARDS AND SPECIFICATIONS, LATEST EDITION. THE DISTRICT SHALL HAVE THE AUTHORITY TO ASSIGN AN INSPECTOR TO INSPECT ANY AND ALL WORK, INCLUDING ALL MATERIALS TO BE INCORPORATED IN THE WORK, EXCAVATION, BEDDING, BACKFILL, TESTING AND ALL CONSTRUCTION METHODS AND PRACTICES.

13. TESTING AND ACCEPTANCE: ALL LINES SHALL BE CHLORINATED AND FLUSHED, BACTERIOLOGICALLY TESTED AND PRESSURE TESTED BY THE CONTRACTOR IN ACCORDANCE WITH DISTRICT SPECIFICATIONS AND UNDER THE DISTRICT'S SUPERVISION. UPON PASSING CHLORINATION TESTING, BACTERIOLOGICAL TESTING SAMPLE WILL BE TAKEN BY DISTRICT EMPLOYEE AND WILL BE TESTED AT THE DISTRICT'S FACILITY. RESULTS TYPICALLY WITH 24 HOURS. COPIES OF ALL PASSING TEST RESULTS, INCLUDING SOILS COMPACTION IN THE AREA OF WATER MAIN CONSTRUCTION, SHALL BE PROVIDED TO THE DISTRICT.

14. PROJECT AS-BUILT AND RECORD DRAWING REQUIREMENTS:

AS-BUILT DRAWINGS ARE PREPARED BY THE CONTRACTOR. THEY CONFIRM, IN RED INK, ON-SITE CHANGES TO THE ORIGINAL CONSTRUCTION DOCUMENTS. THE AS BUILT DRAWINGS SHALL BE FORWARDED TO ENGINEER FOR CONVERSION TO RECORD DRAWINGS.

RECORD DRAWINGS ARE PREPARED BY THE ENGINEER AND REFLECT ON-SITE CHANGES THE CONTRACTOR NOTED IN THE AS-BUILT DRAWINGS. THE RECORD DRAWINGS SHALL BE APPROVED BY LEFT HAND WATER DISTRICT PRIOR TO PRELIMINARY ACCEPTANCE OF THE PROJECT. RECORD DRAWINGS SHALL BE SUBMITTED IN AUTOCAD FORMAT, BLACKLINE PAPER AND MYLAR.

THESE DOCUMENTS SHALL ACCURATELY REFLECT ANY CHANGE MADE IN THE FIELD WHICH VARIES FROM THE APPROVED CONSTRUCTION PLAN AND INCLUDING, AT A MINIMUM, FIELD DIMENSIONS AND ELEVATIONS, HORIZONTAL AND VERTICAL LOCATIONS OF UNDERGROUND UTILITIES AND APPURTENANCES.

INCLUDE WITH THE RECORD DRAWINGS A SIGNED, WRITTEN CONFIRMATION OF TOTAL COSTS OF ALL PROJECT RELATED WATER SYSTEM IMPROVEMENTS INVOLVED

THE CONTRACTOR SHALL WARRANT THE MATERIALS, INSTALLATION WORKMANSHIP AND SURFACE RESTORATION FOR A PERIOD OF TWO (2) YEARS FROM DATE OF SUBSTANTIAL COMPLETION. DURING THIS WARRANTY PERIOD THE CONTRACTOR SHALL REPAIR ANY DEFECTS IN THE WORK AND MAINTAIN THE WORK AREA. AT THE CLOSE OF THE TWO YEAR WARRANTY PERIOD AND UPON SATISFACTORY CORRECTION OF ANY DEFICIENCIES NOTED, THE DISTRICT SHALL ACCEPT THE CONSTRUCTED LINES AND APPURTENANCES AS THE SOLE PROPERTY AND RESPONSIBILITY OF THE DISTRICT.

ST. VRAIN SANITATION DISTRICT GENERAL NOTES:

1. DISTRICT SHALL REFER TO THE ST. VRAIN SANITATION DISTRICT IN THESE NOTES.
2. DISTRICT'S ACCEPTANCE OF THESE PLANS IS VALID FOR ONE YEAR.
3. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE DISTRICT STANDARDS.
4. CONTRACTOR TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO COMMENCING ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO STARTING CONSTRUCTION OR PRIOR TO RESUMING CONSTRUCTION AFTER A BREAK.
6. SANITARY SEWER SHALL BE POLYVINYL CHLORIDE (PVC) PIPE, ASTM D3034-SDR35 OR AS INDICATED ON THE PLANS.
7. ALL CONCRETE SHALL BE MINIMUM 4000 PSI AT 28 DAY STRENGTH.
8. MAINTAIN A MINIMUM OF 10 FEET HORIZONTAL SEPARATION OUTSIDE DIAMETER TO OUTSIDE DIAMETER BETWEEN WATER LINES AND ALL SEWER LINES AND MANHOLES.
9. ALL SEWER MAINS CROSSING WATER MAINS WITH LESS THAN 18 INCHES OF SEPARATION SHALL BE ENCASED IN CONCRETE.
10. RIM ELEVATIONS SHOWN ARE APPROXIMATE AND SHOULD NOT BE TAKEN AS FINAL. ALL MANHOLES SHALL BE FINAL ADJUSTED AFTER PAVING SUCH THAT THE RIM IS 1/4 TO 1/2 INCH BELOW FINISHED ASPHALT. MANHOLES IN UNPAVED AREAS SHALL E SET SO THAT THE RIM IS 0.5' ABOVE FINISHED GRADE.
11. INVERT DATA SHALL BE COLLECTED BY A LICENSED SURVEYOR ON EACH PIPE INVERT IN A MANHOLE. CENTER OF MANHOLE SURVEYING IS NOT ACCEPTABLE FOR SLOPE CALCULATIONS. RECORD DRAWINGS (ASBUILTS) MUST DEMONSTRATE CONFORMANCE TO DISTRICT STANDARDS.
12. THE CONTRACTOR SHALL HAVE A SET OF APPROVED PLANS ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING ACTUAL RECORD DRAWING DIMENSIONS AND DISTANCES AS SERVICE LOCATIONS ON THESE PLANS AND SUBMITTING THEM TO THE ENGINEER FOR PREPARATION OF RECORD DRAWINGS. THESE DRAWINGS SHALL BE KEPT CURRENT AT ALL TIMES.
13. BEFORE ANY CONSTRUCTION COMMENCES, A PLUG SHALL BE INSTALLED TO PREVENT DRAINAGE THROUGH THE NEW EWER LINE FORM ENTERING THE EXISTING SEWER LINE. THIS PLUG WILL BE INSTALLED IN THE MANHOLE, WHICH CONNECTS NEW WORK WITH THE EXISTING AND NOT BE REMOVED UNTIL INITIAL ACCEPTANCE.
14. UNDERDRAINS, IF INSTALLED, ARE THE RESPONSIBILITY OF THE DEVELOPER. DISTRICT ASSUMES NO LIABILITY FOR ANY PORTION OF OR ANY DAMAGE CAUSED BY UNDERDRAINS. ABSOLUTELY NO PART OF AN UNDERDRAIN SYSTEM, INCLUDING CLEAN OUTS, WILL BE ALLOWED INSIDE OF SANITARY SEWER MANHOLES. ALL UNDERDRAINS SHALL BE INSTALLED BELOW THE SANITARY SEWER AND OFFSET TO THE SIDE. PIPE MATERIAL SHALL BE DIFFERENT COLOR THAN SANITARY SEWER.
15. NO SERVICE LATERALS SMALLER THAN 8 INCH IN DIAMETER SHALL ENTER MANHOLES.
16. SERVICE CROSSINGS OF CURB SHALL BE MARKED WITH AT "S" IN CURB FACE. PAINT IS NOT ACCEPTABLE. SERVICE SHALL BE EXTENDED INTO THE LOT A MINIMUM OF 10 FEET.
17. CONTRACTOR SHALL MARK THE END OF ALL SEWER SERVICES WITH A 2" X 4" BOARD WITH MINIMUM OF FOUR (4) FEET ABOVE GRADE, PAINTED GREEN.
18. ALL PIPES SHALL HAVE SQUEEGIE (CDOT #8 BEDDING) UNLESS OTHERWISE SHOWN OR THE DISTRICT MAY APPROVE ALTERNATE BEDDING IN SPECIAL CASES.
19. CUT OFF WALLS WILL BE INSTALLED 10' DOWN STREAM OF EACH MANHOLE WHERE THE SUBDIVISION LINE CONNECTS TO THE EXISTING SANITARY SEWER MAIN LINE.
20. THE WARRANTY BOND SHALL BE IN THE AMOUNT OF $5,000.00 OF 15% OF THE TOTAL COST OF THE SEWER, WHICHEVER IS GREATER.
21. PRIOR TO APPROVAL, ALL SANITARY SEWER PIPES SHALL BE PRESSURE-TESTED PER ASTM C924. ALL MANHOLES SHALL BE VACUUM-TESTED PER UNI-B-98.
22. PRIOR TO REMOVAL OF PLUGS AT MANHOLES, PIPE SHALL BE JET-CLEANED AND VACUUMED TO REMOVE DEBRIS AND VIDEOED. NOTICE SHALL BE GIVEN TO THE DISTRICT INSPECTOR ONE (1) WEEK PRIOR TO CLEANING. INSPECTOR, PLUGS MAY ONLY REMOVED AFTER INITIAL ACCEPTANCE BY THE DISTRICT.
23. THE FINAL RECORDED PLAT AND RECORDED ADDRESS PLAT SHALL BE PROVIDED TO THE DISTRICT BEFORE INITIAL ACCEPTANCE.
24. TWENTY (20) MONTHS AFTER CONSTRICTION AND PRIOR TO THE EXPIRATION OF WARRANTY, THE DEVELOPER SHALL CAMERA/VIDEO THE SANITARY SEWER LINES AND PROVIDE A DVD TO THE DISTRICT FOR REVIEW.

QUIKTRIP

GENERAL NOTES

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	GENERAL NOTES
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 3 OF 37

PROJECT NO.: QKT004202

Galloway
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Greenwood Village, CO 80111
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QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
GENERAL NOTES

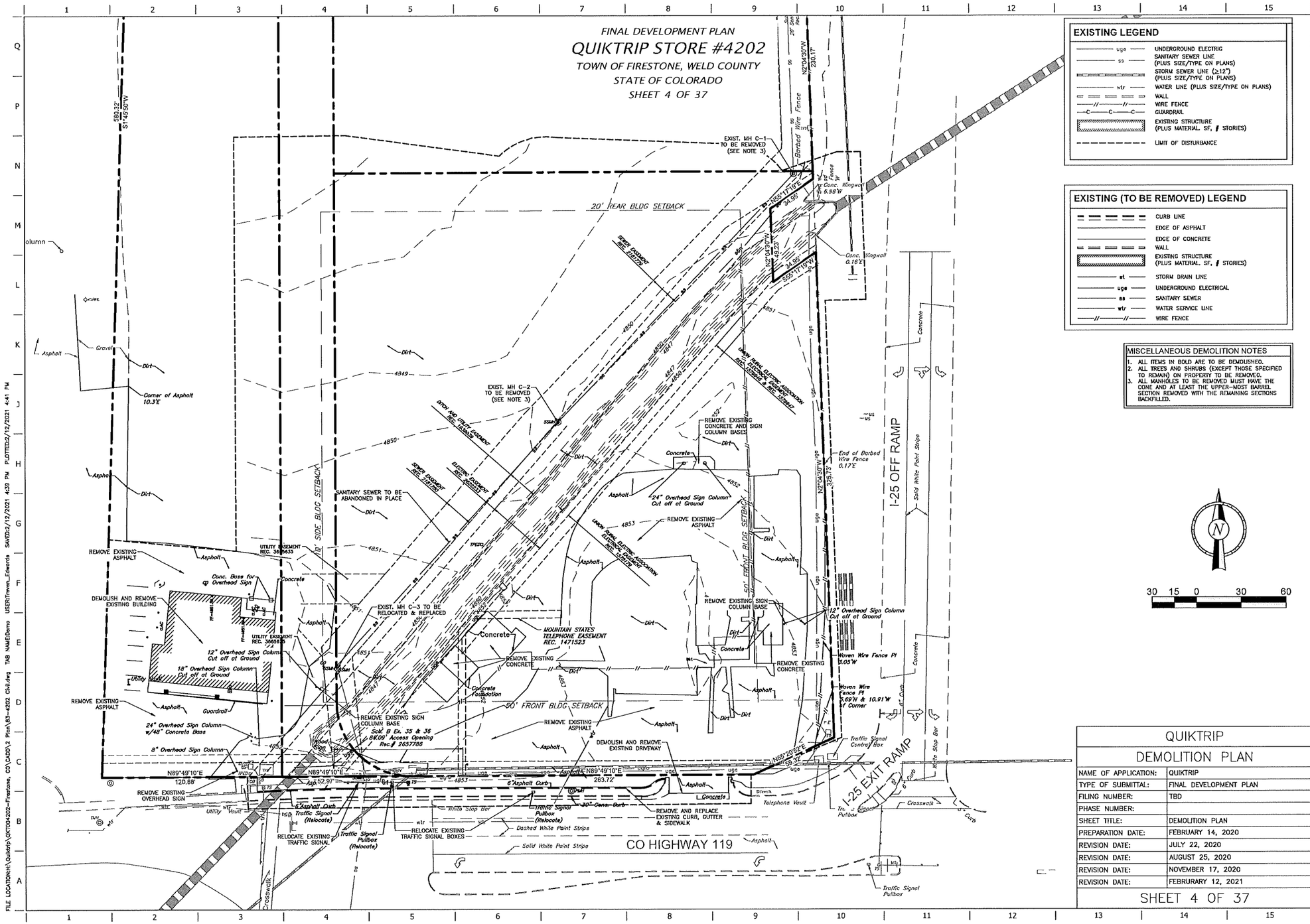
SHEET NUMBER:
C003

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\ADD\2 Plan\83-4202 Civil.dwg TAB NAME:General Notes USER:Trevon_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:41 PM

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 4 OF 37



EXISTING LEGEND

- UNDERGROUND ELECTRIC
- SANITARY SEWER LINE (PLUS SIZE/TYPE ON PLANS)
- STORM SEWER LINE (≥12") (PLUS SIZE/TYPE ON PLANS)
- WATER LINE (PLUS SIZE/TYPE ON PLANS)
- WALL
- WIRE FENCE
- GUARDRAIL
- EXISTING STRUCTURE (PLUS MATERIAL, SF, # STORIES)
- LIMIT OF DISTURBANCE

EXISTING (TO BE REMOVED) LEGEND

- CURB LINE
- EDGE OF ASPHALT
- EDGE OF CONCRETE
- WALL
- EXISTING STRUCTURE (PLUS MATERIAL, SF, # STORIES)
- STORM DRAIN LINE
- UNDERGROUND ELECTRICAL
- SANITARY SEWER
- WATER SERVICE LINE
- WIRE FENCE

MISCELLANEOUS DEMOLITION NOTES

1. ALL ITEMS IN BOLD ARE TO BE DEMOLISHED.
2. ALL TREES AND SHRUBS (EXCEPT THOSE SPECIFIED TO REMAIN) ON PROPERTY TO BE REMOVED.
3. ALL MANHOLES TO BE REMOVED MUST HAVE THE CONE AND AT LEAST THE UPPER-MOST BARREL SECTION REMOVED WITH THE REMAINING SECTIONS BACKFILLED.

30 15 0 30 60

QUIKTRIP
DEMOLITION PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	DEMOLITION PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 4 OF 37

PROJECT NO.: QKT004202

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DRAWN BY: TJE
REVIEWED BY: JRR

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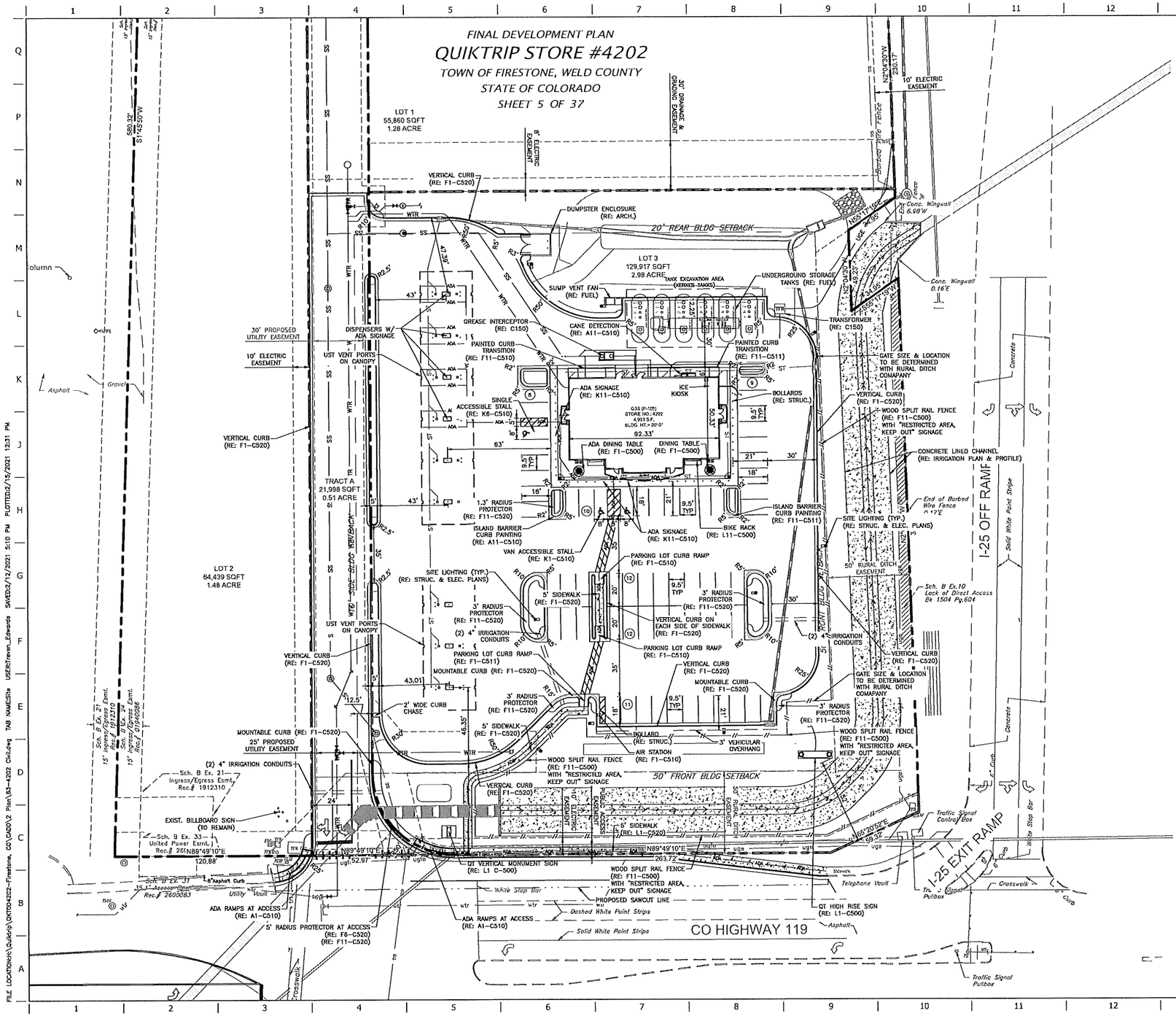
ORIGINAL ISSUE DATE:

SHEET TITLE: DEMOLITION PLAN

SHEET NUMBER: C030

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\B3-4202 Civil.dwg TAB NAME:Demo USER:Steven_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:41 PM



SITE LEGEND

- BOUNDARY LINE
- CONCRETE CURB AND GUTTER
- SANITARY SEWER LINE (PLUS SIZE/TYPE ON PLANS)
- WATER LINE (PLUS SIZE/TYPE ON PLANS)
- UNDERGROUND ELECTRIC
- STORM SEWER LINE (≥12") (PLUS SIZE/TYPE ON PLANS)
- WOOD FENCE
- WALL
- EDGE OF ASPHALT
- PROPOSED CONCRETE
- MOUNTABLE CURB W/RADIUS PROTECTOR
- PARKING SPACE INDICATOR
- AREA LIGHT
- MULTIPLE PRODUCT DISPENSER WITH CANOPY COLUMNS AND BOLLARDS
- TRANSFORMER
- FUEL SYSTEM ACCESS MANWAY
- TRAFFIC ARROWS
- UTILITY METER (PLUS TYPE)
- UTILITY MANHOLE (PLUS TYPE/'S)
- UTILITY PEDESTAL/RISER– PLUS TYPE OF UTILITY
- SINGLE POST SIGN (PLUS TYPE/VERBIAGE)

SITE LIGHTING FIXTURE TABLE

TYPE	HEIGHT	QUANTITY
	22'	8
	22'	4
	22'	0
BREAK AWAY BASES REQUIRED		0
LOW VOLTAGE POLES		0

30 15 0 30 60

QUIKTRIP
SITE PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	SITE PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 5 OF 37

PROJECT NO.: QKT004202

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
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5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

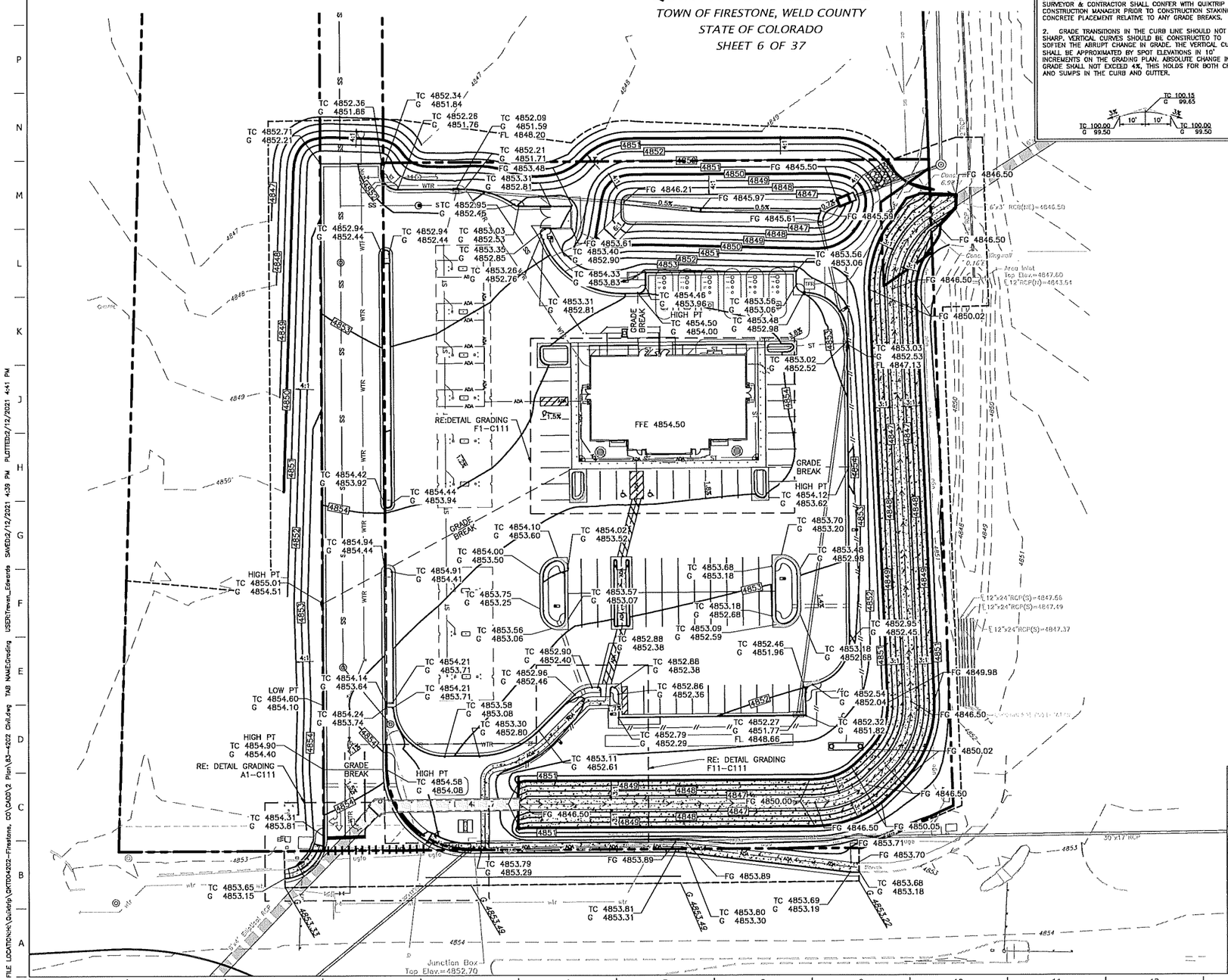
SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C100

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

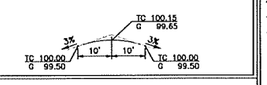
TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 6 OF 37



VERTICAL CURVE AT GRADE BREAK NOTES

1. TO AVOID ANY DEFINED CRESTS OR SUMPS, "GRADE BREAKS" SHALL BE CONSTRUCTED AS A "VERTICAL CURVE". SURVEYOR & CONTRACTOR SHALL CONFER WITH QUIKTRIP CONSTRUCTION MANAGER PRIOR TO CONSTRUCTION STAKING OR CONCRETE PLACEMENT RELATIVE TO ANY GRADE BREAKS.

2. GRADE TRANSITIONS IN THE CURB LINE SHOULD NOT BE SHARP. VERTICAL CURVES SHOULD BE CONSTRUCTED TO SOFTEN THE ABRUPT CHANGE IN GRADE. THE VERTICAL CURVE SHALL BE APPROXIMATED BY SPOT ELEVATIONS IN 10' INCREMENTS ON THE GRADING PLAN. ABSOLUTE CHANGE IN GRADE SHALL NOT EXCEED 4%, THIS HOLDS FOR BOTH CRESTS AND SUMPS IN THE CURB AND GUTTER.



GRADING LEGEND

- LIMITS OF DISTURBANCE
- ST — STORM PIPE (≤ 10" NEW)
- STORM PIPE (≥ 12" NEW)
- STORM PIPE (≥ 12" EXISTING)
- FD — FRENCH DRAIN
- CO — BACK OF CURB DRAIN
- ADA — ADA PATH OF TRAVEL
- XXXX — MAJOR CONTOUR (NEW)
- XXXX — MINOR CONTOUR (NEW)
- XXX — MAJOR CONTOUR (EXISTING)
- XXX — MINOR CONTOUR (EXISTING)
- TC XXXX.XX / G XXXX.XX — TOP OF CURB ELEVATION (NEW) / GUTTER ELEVATION (NEW)
- FG XXXX.XX — FINISHED GRADE ELEVATION (NEW)
- FG XXXX.XX — SPOT ELEVATION (EXISTING)
- STORM GRATE (NEW)

BENCHMARKS

1. SET "o" ON THE NORTHEAST CORNER OF A TRANASFORMER PAD. 50'± NORTH NORTHWEST TO A PK NAIL AT THE SOUTHWEST CORNER OF THE PROPERTY. ELEVATION=4853.60
2. FOUND "+" CUT ON THE NORTH CURB RETRUN, EAST SIDE OF THE ENTRANCE TO THE PROPERTY OFF OF STATE ROUTE 119. ELEVATION=4853.93
3. SET "+" ON THE SOUTH END, EAST EDGE OF A CONCRETE HEADWALL, WEST SIDE OF OFF RAMP FROM SOUTH BOUND INTERSTATE 25. ELEVATION=4851.66

MISCELLANEOUS GRADING NOTES

1. GAS CANOPY INSTALLER SHALL INSTALL THE CANOPY COLUMN DRAIN PIPE AND OVERFLOW FITTING. THE STORM WATER INSTALLER SHALL CONNECT THEIR PIPING TO THE GAS INSTALLER'S OVERFLOW FITTING.
2. WHEN PLAN GRADES DEPICT RUNOFF TO BE DIRECTED AWAY FROM THE CURB, USE DRAIN AWAY CURB ALTERNATE. (RE: "CURB DETAIL-BARRIER" PD009A00X DETAIL)

30 15 0 30 60

QUIKTRIP
GRADING PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	GRADING PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 6 OF 37

PROJECT NO.: QKT004202

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	5/08/20	REVISED PER TOWN COMMENTS
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5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE: GRADING PLAN

SHEET NUMBER: C110

FILE LOCATION:H:\Quikrip\QKT004202-Firestone, CO\CADD\2 Plan\B3-4202 Civil.dwg TAB NAME:Grading USER:Trevan_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:41 PM

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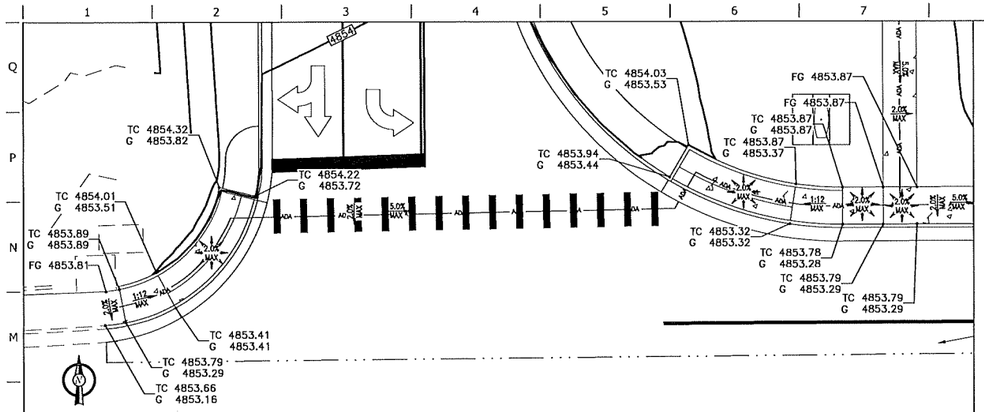
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

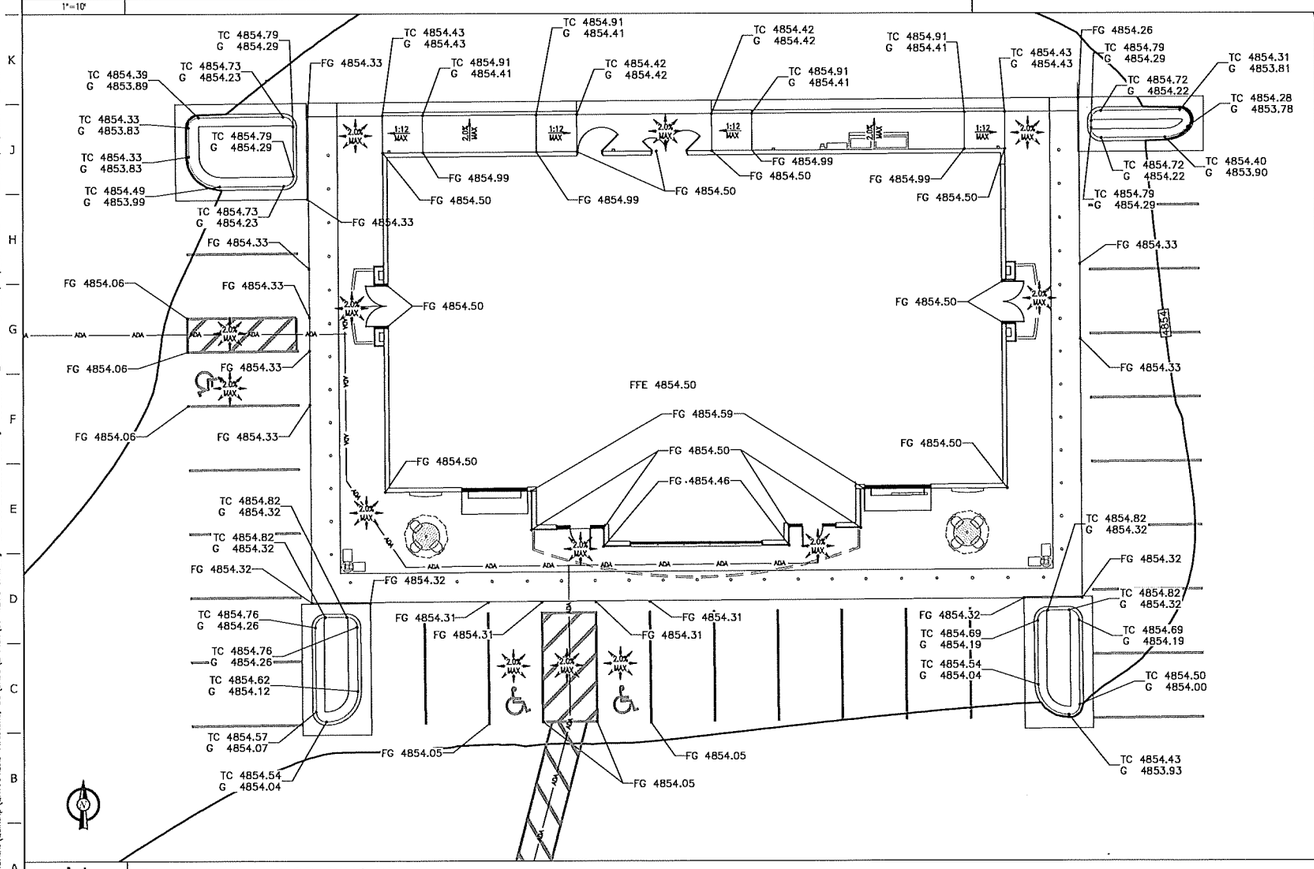
STATE OF COLORADO

SHEET 7 OF 37



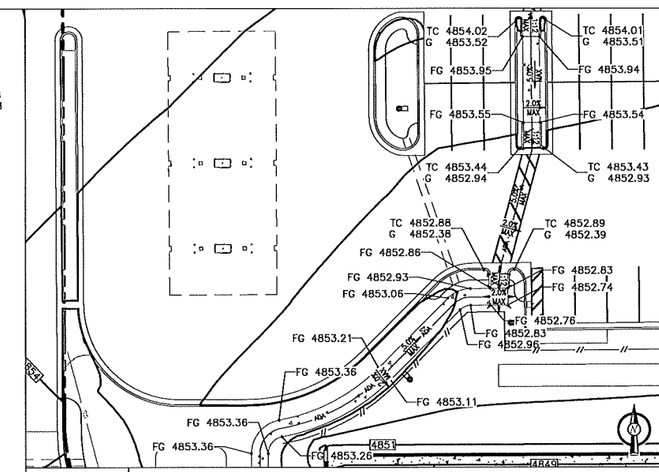
L1 — HWY 119 ACCESS DRIVE AND PUBLIC SIDEWALK CONNECTION DETAILED GRADING PLAN

1"=10'



A1 — BUILDING ISLAND GRADING DETAIL

1"=10'



F11 — SE HWY 119 PEDESTRIAN SITE ACCESS & CURB RAMP

1"=20'

PRIOR TO PLACING FRAMEWORK ON COMPLEX ADA RAMP DESIGNS, CONTRACTOR SHALL SUBMIT AN RFI WITH ADDITIONAL SURVEY DATA TO THE CONSULTANT. CONSULTANT WILL FINALIZE RAMP DESIGN AND RESPOND TO THE RFI.

GRADING LEGEND

XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
TC XXXX.XX	TOP OF CURB ELEVATION (NEW)
G XXXX.XX	GUTTER ELEVATION (NEW)
FG XXXX.XX	FINISHED GRADE ELEVATION (NEW)
	STORM GRATE (NEW)

BENCHMARKS

1. SET "□" ON THE NORTHEAST CORNER OF A TRANASFORMER PAD. 50'± NORTH NORTHWEST TO A PK NAIL AT THE SOUTHWEST CORNER OF THE PROPERTY. ELEVATION=4853.60
2. FOUND "+" CUT ON THE NORTH CURB RETRUN, EAST SIDE OF THE ENTRANCE TO THE PROPERTY OFF OF STATE ROUTE 119. ELEVATION=4853.93
3. SET "□" ON THE SOUTH END, EAST EDGE OF A CONCRETE HEADWALL, WEST SIDE OF OFF RAMP FROM SOUTH BOUND INTERSTATE 25. ELEVATION=4851.66

QUIKTRIP
BUILDING DETAILED GRADING PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	BUILDING DETAILED GRADING PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 7 OF 37

PROJECT NO.: QKT004202

Galloway

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5	02/12/21	REVISED PER MUNICIPAL COMMENTS
		ORIGINAL ISSUE DATE:

SHEET TITLE:
BUILDING DETAILED GRADING PLAN

SHEET NUMBER:
C111

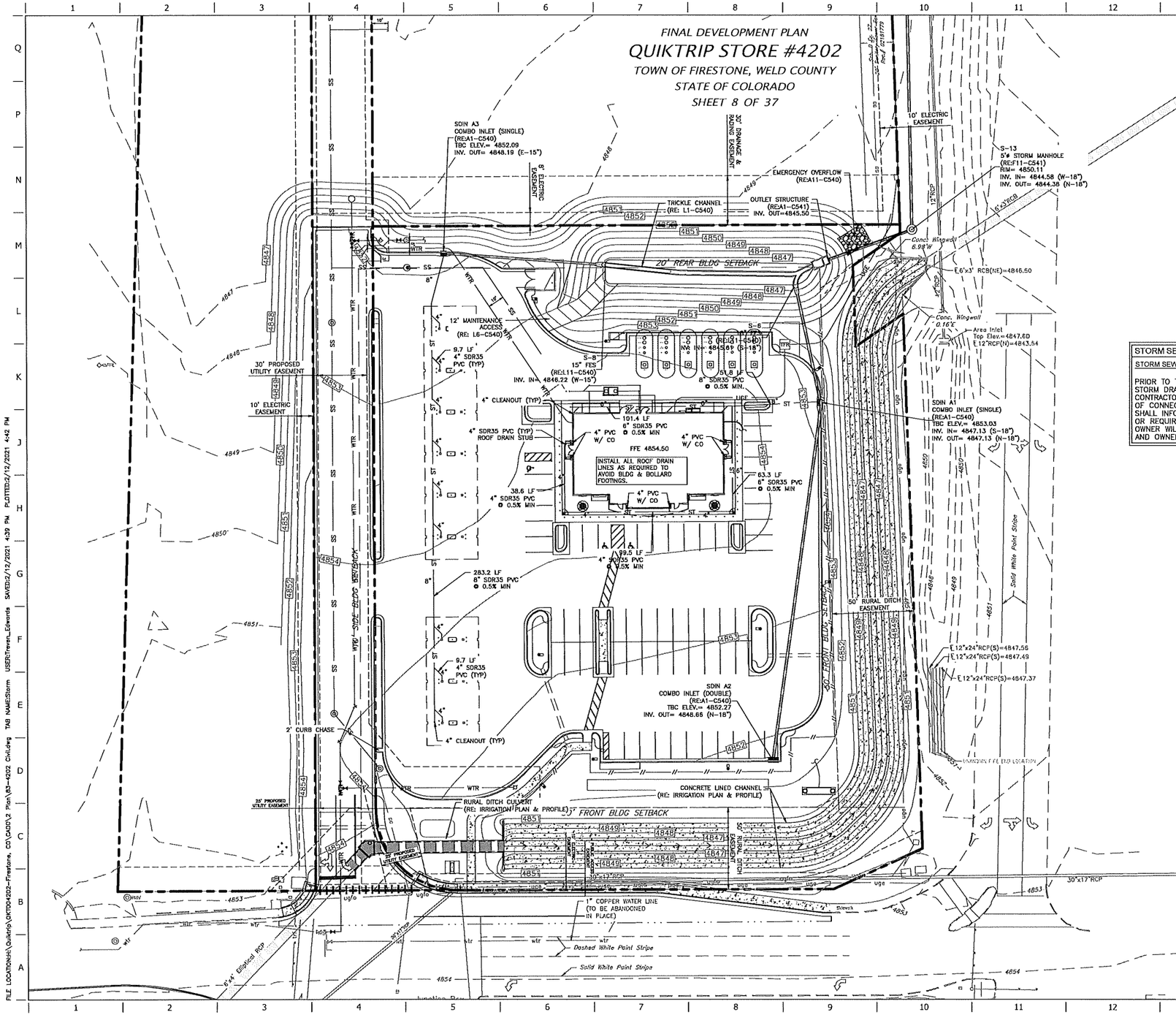
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 8 OF 37



STORM SEWER LEGEND

ST	STORM PIPE (< 10" NEW)
	STORM PIPE (> 12" NEW)
	STORM PIPE (> 12" EXISTING)
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
	STORM GRATE (NEW)
	STORM MANHOLE (NEW)
	STORM OUTLET STURCTURE (NEW)
	STORM FES (NEW)

STORM SEWER GENERAL NOTES

STORM SEWER INSTALLATION CONSIDERATIONS

PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.

30 15 0 30 60

QUIKTRIP

STORM SEWER PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	STORM SEWER PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
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SHEET 8 OF 37

PROJECT NO.: QKT004202

Galloway

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3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:

STORM SEWER PLAN

SHEET NUMBER:

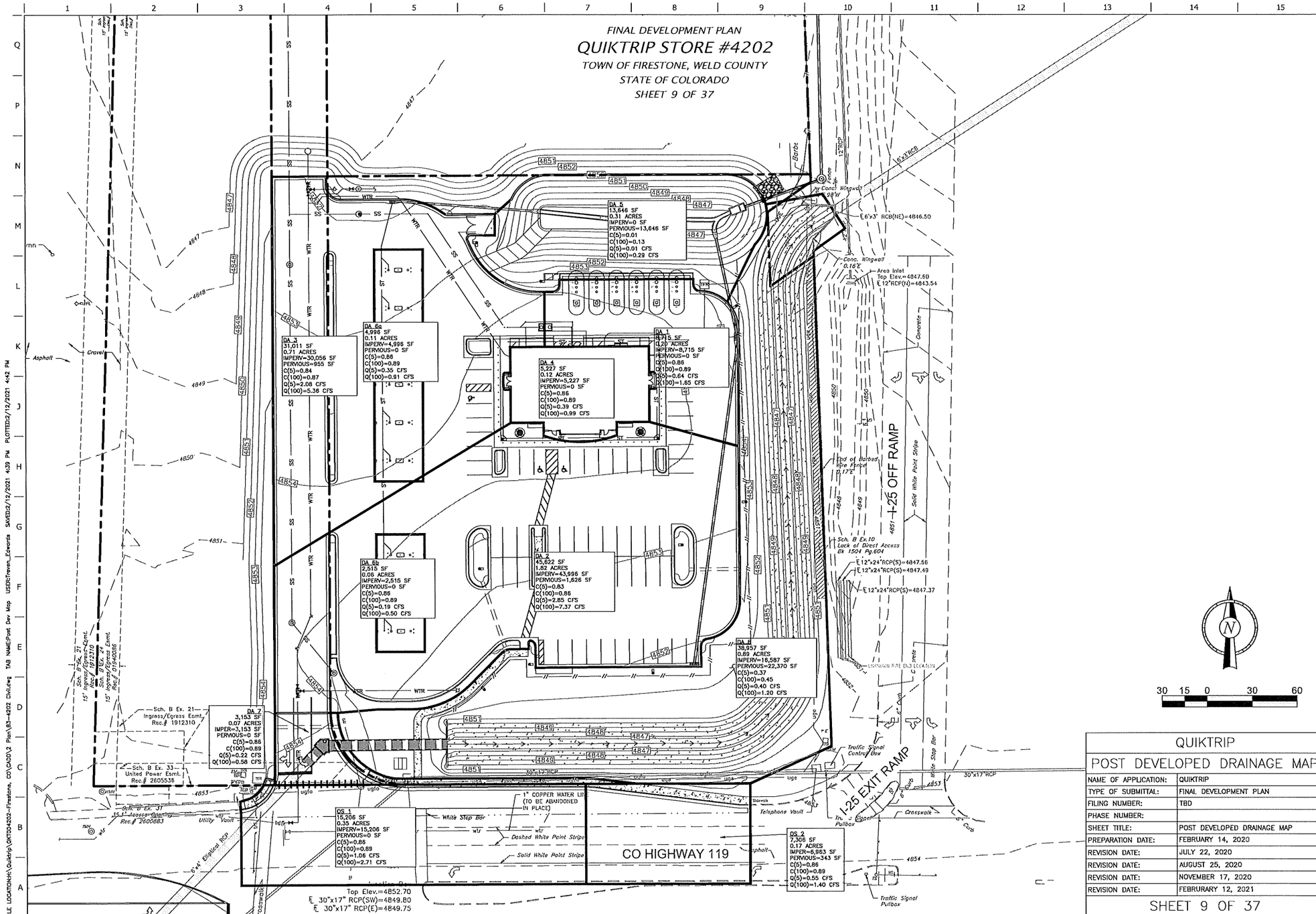
C120

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\03-4202 Civil.dwg TAB NAME:Storm USER:Trevon_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:42 PM

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 9 OF 37



QUIKTRIP	
POST DEVELOPED DRAINAGE MAP	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	POST DEVELOPED DRAINAGE MAP
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 9 OF 37	

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.5674
Galloway.us.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

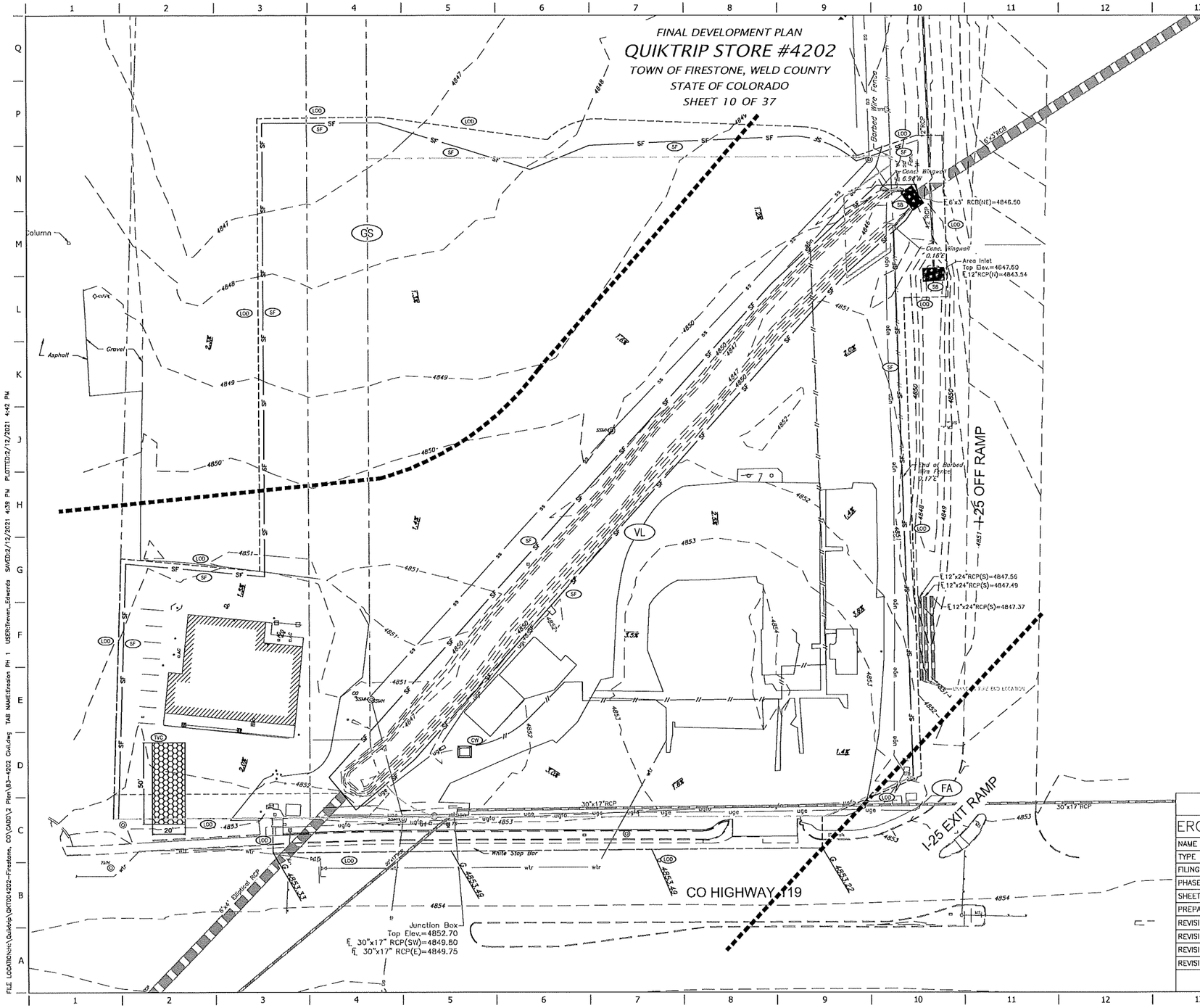
REV	DATE	DESCRIPTION
1	5/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER MUNICIPAL COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
POST DEVELOPED DRAINAGE MAP

SHEET NUMBER:
C122

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CAD\2 Plan\B3-4202 Civil.dwg TAB NAME:Post Dev Map USER:Steven.Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:42 PM



EROSION CONTROL PHASE 1 LEGEND

—XXX—	MAJOR CONTOUR (EXISTING)
—XXX—	MINOR CONTOUR (EXISTING)
	STORM GRATE (EXISTING)
—st—	ROOF DRAIN PIPE
GS	SOIL TYPE: GRAVELLY SUBSTRATUM
FA	SOIL TYPE: FLOODED AQUEPTS
VL	SOIL TYPE: VONA SANDY LOAM
	SOIL TYPE BOUNDARY
	PROPERTY LINE
XXX	FLOW ARROW (EXISTING)

BMP LEGEND

		DETAIL No. - SHEET No.
IP	INLET GRAVEL FILTER	L6-C501
TVC	TEMPORARY VEHICLE TRACKING CONTROL PAD	A1-C501
SB	STRAW BALE DIKE	F11-C501
SF	SILT FENCE	A6-C501
LOD	LIMIT OF DISTURBANCE	

OWNERSHIP / CONTRACTOR SUMMARY

OWNER/DEVELOPER:
QUIKTRIP CORPORATION
1499 WEST 120TH AVE., SUITE 110
WESTMINSTER, CO, 8023-2719
(913) 905-2069

SITE OPERATOR/GENERAL CONTRACTOR:
TBD

SUPERINTENDENT:
TBD

QUIKTRIP
EROSION CONTROL PLAN PHASE 1

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	EROSION CONTROL PLAN PHASE 1
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 10 OF 37

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.5338
Galloway.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JKR

REV	DATE	DESCRIPTION
1	10/30/20	REVISED PER TOWN COMMENTS
2	8/25/20	REVISED PER RURAL DITCH COMMENTS
3	11/17/20	REVISED PER MUNICIPAL COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
EROSION CONTROL PLAN PHASE 1

SHEET NUMBER:
C140

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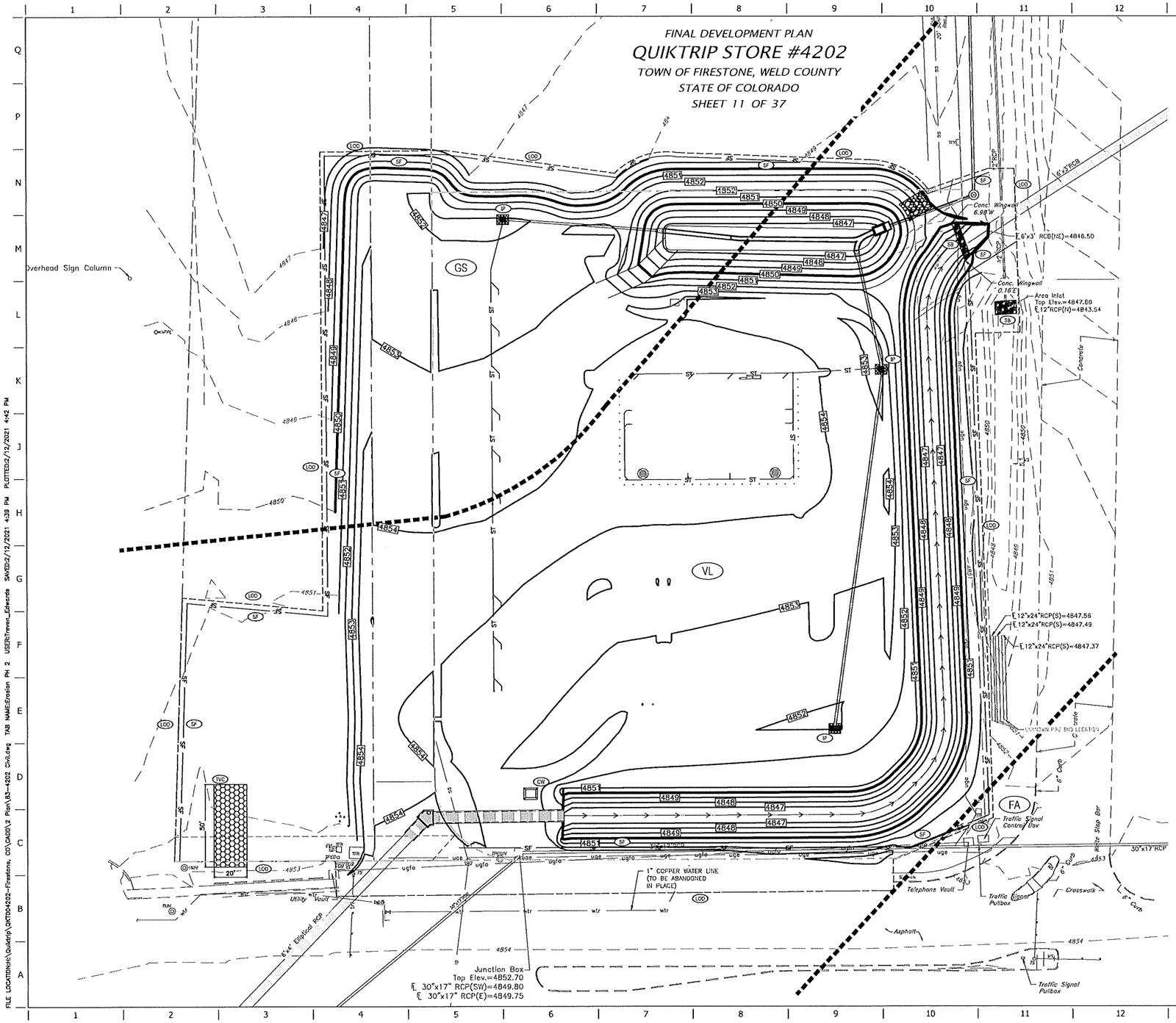
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 11 OF 37



EROSION CONTROL PHASE 2 LEGEND

XXX	MAJOR CONTOUR (EXISTING)
XXX	MINOR CONTOUR (EXISTING)
XXXX	MAJOR CONTOUR (NEW)
XXXX	MINOR CONTOUR (NEW)
	STORM GRATE (NEW)
ST	ROOF DRAIN PIPE
GS	SOIL TYPE: GRAVELLY SUBSTRATUM
FA	SOIL TYPE: FLOODED AQUEPTS
VL	SOIL TYPE: VONA SANDY LOAM
	SOIL TYPE BOUNDARY
	PROPERTY LINE

BMP LEGEND

		DETAIL No. - SHEET No.
IP	INLET GRAVEL FILTER	L6-C501
TVC	TEMPORARY VEHICLE TRACKING CONTROL PAD	A1-C501
CW	CONCRETE WASHOUT AREA	L1-C501
SB	STRAW BALE DIKE	F11-C501
SF	SILT FENCE	A6-C501
LOO	LIMIT OF DISTURBANCE	

OWNERSHIP / CONTRACTOR SUMMARY

OWNER/DEVELOPER:
QUIKTRIP CORPORATION
1499 WEST 120TH AVE., SUITE 110
WESTMINSTER, CO. 8023-2719
(913) 905-2069

SITE OPERATOR/GENERAL CONTRACTOR:
TBD

SUPERINTENDENT:
TBD

30 15 0 30 60

QUIKTRIP
EROSION CONTROL PLAN PHASE 2

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	EROSION CONTROL PLAN PHASE 2
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 11 OF 37

PROJECT NO.: QKT004202

Galloway
6142 S. Willow Drive, Suite 100
Greenwood Village, CO 80111
303.770.8884
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QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/09/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	9/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
EROSION CONTROL PLAN PHASE 2

SHEET NUMBER:
C141

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\83-4202 Civil.dwg TAB NAME:Erosion PH 2 USER:Trevor_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:42 PM

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 12 OF 37

UTILITY GENERAL NOTES

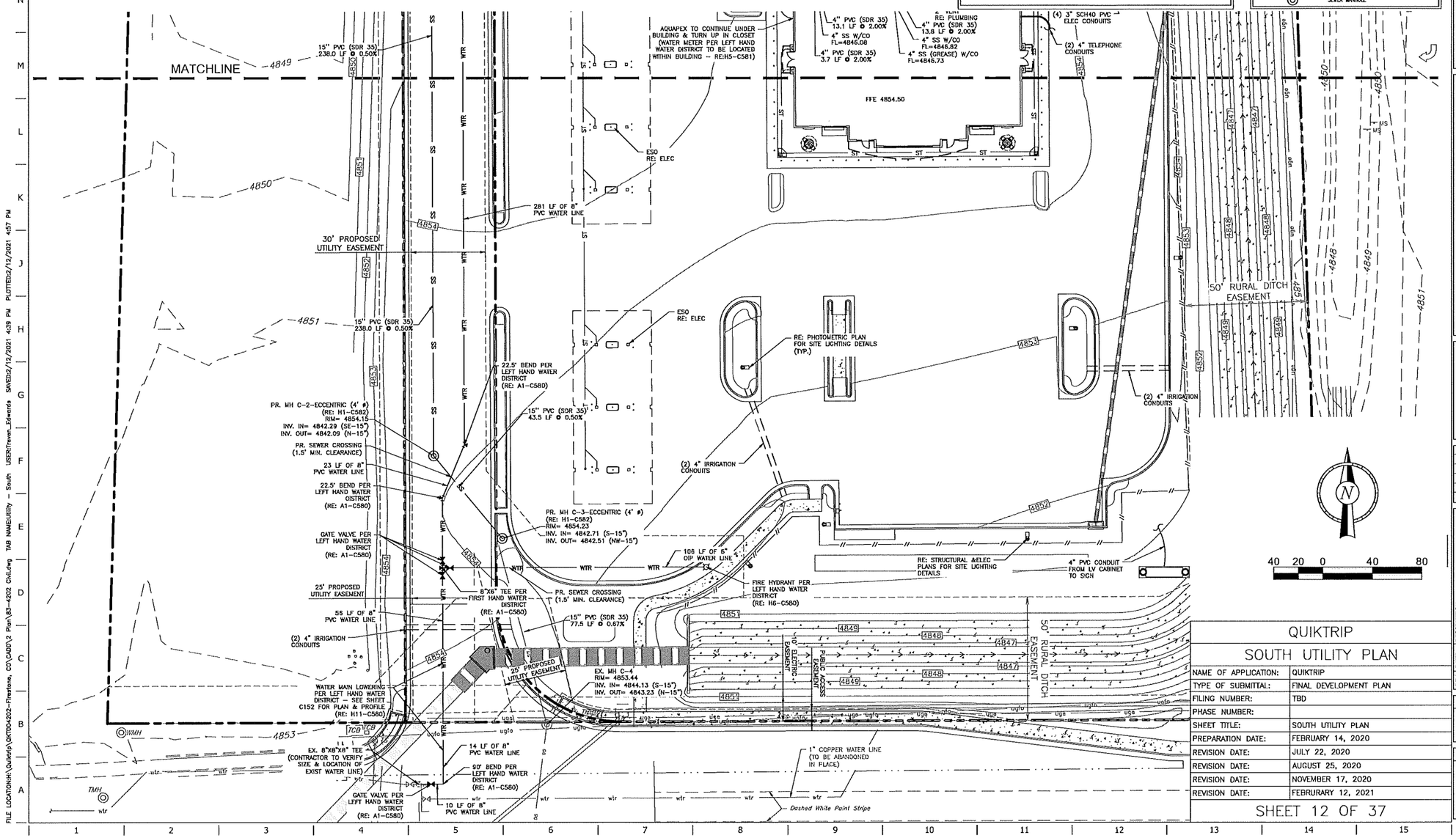
UTILITY INSTALLATION CONSIDERATIONS

PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.

AS POSSIBLE, ALL PROPOSED UTILITIES SHALL BE ROUTED THROUGH PERVIOUS AREAS – SPECIFICALLY AVOIDING ON-SITE PAVED AREAS DESIGNATED FOR PARKING, ACCESS, AND VEHICULAR TRAFFIC FLOW.

UTILITY LEGEND (NEW)

- WTR — WATER LINE
- SS — SANITARY SEWER LINE
- UGET — UNDERGROUND ELECTRIC LINE
- ST — STORM PIPE (≤ 10")
- STORM PIPE (≥ 12")
- XXX — MAJOR CONTOUR
- XXX — MINOR CONTOUR
- CONCRETE CURB AND GUTTER
- LIGHT POLE – 6' MIN. CLEAR FROM F/C
- WATER THRUST BLOCK AND VALVE
- FIRE HYDRANT
- SEWER MANHOLE



QUIKTRIP

SOUTH UTILITY PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	SOUTH UTILITY PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 12 OF 37

PROJECT NO.: QKT004202

Galloway

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303.770.8884
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QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	5/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER WATER COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
SOUTH UTILITY PLAN

SHEET NUMBER:
C150

FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\B3-4202 Civil.dwg TAB NAME:Utility - South USER:Steven_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:57 PM

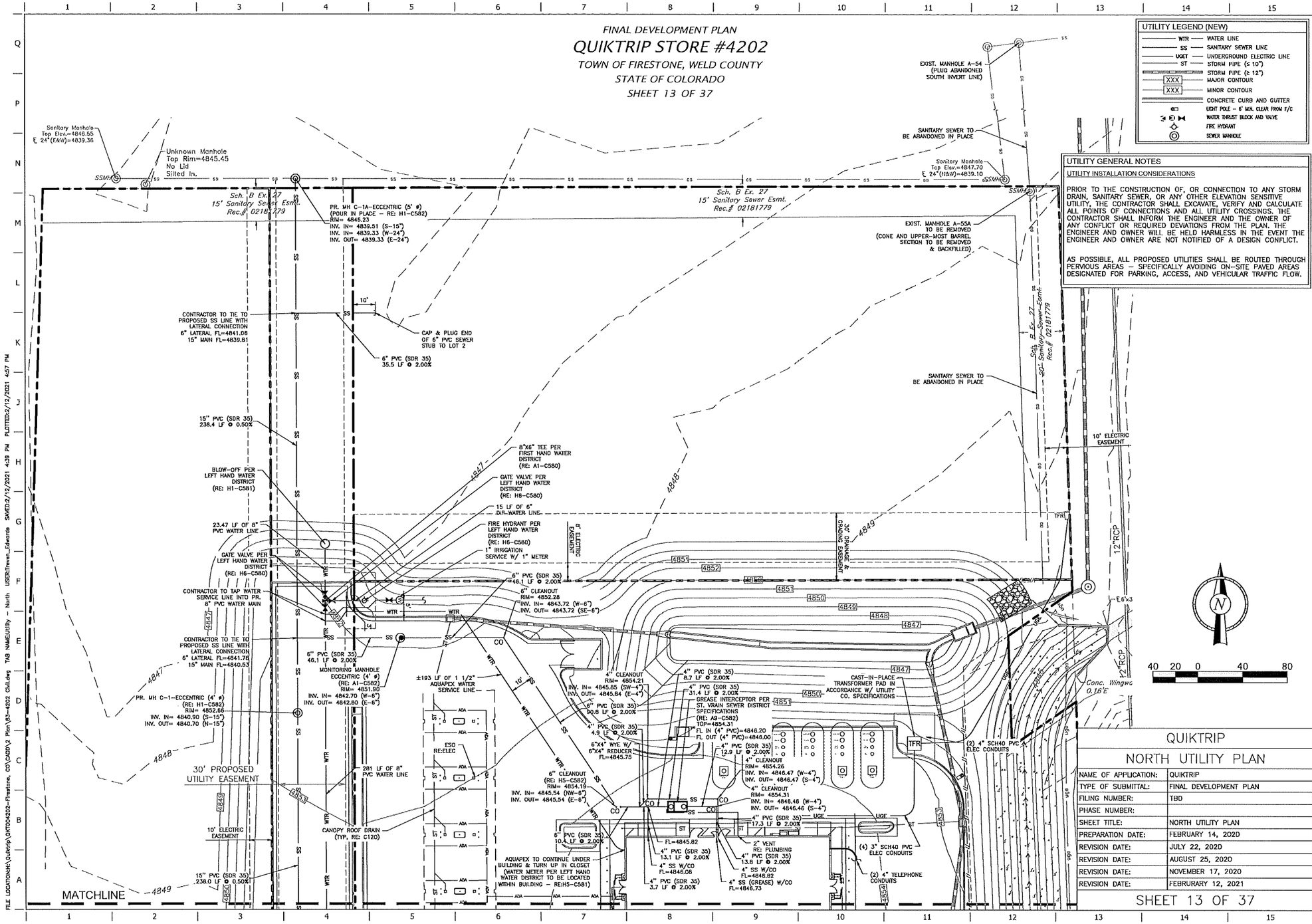
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 13 OF 37



UTILITY LEGEND (NEW)

WTR	WATER LINE
SS	SANITARY SEWER LINE
UGET	UNDERGROUND ELECTRIC LINE
ST	STORM PIPE (≤ 10")
	STORM PIPE (≥ 12")
XXX	MAJOR CONTOUR
XXX	MINOR CONTOUR
	CONCRETE CURB AND GUTTER
	LIGHT POLE – 6' MIN. CLEAR FROM F/C
	WATER THRUST BLOCK AND VALVE
	FIRE HYDRANT
	SEWER MANHOLE

UTILITY GENERAL NOTES

UTILITY INSTALLATION CONSIDERATIONS

PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.

AS POSSIBLE, ALL PROPOSED UTILITIES SHALL BE ROUTED THROUGH PERVIOUS AREAS – SPECIFICALLY AVOIDING ON-SITE PAVED AREAS DESIGNATED FOR PARKING, ACCESS, AND VEHICULAR TRAFFIC FLOW.

QUIKTRIP

NORTH UTILITY PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	NORTH UTILITY PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 13 OF 37

PROJECT NO.: QKT004202

Galloway

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303.770.8884
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QuikTrip No. 4202

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FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	9/08/20	REVISED PER TOWN COMMENTS
2	8/25/20	REVISED PER RURAL OTTICA COMMENTS
3	8/26/20	REVISED PER TOWN COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
NORTH UTILITY PLAN

SHEET NUMBER:
C151

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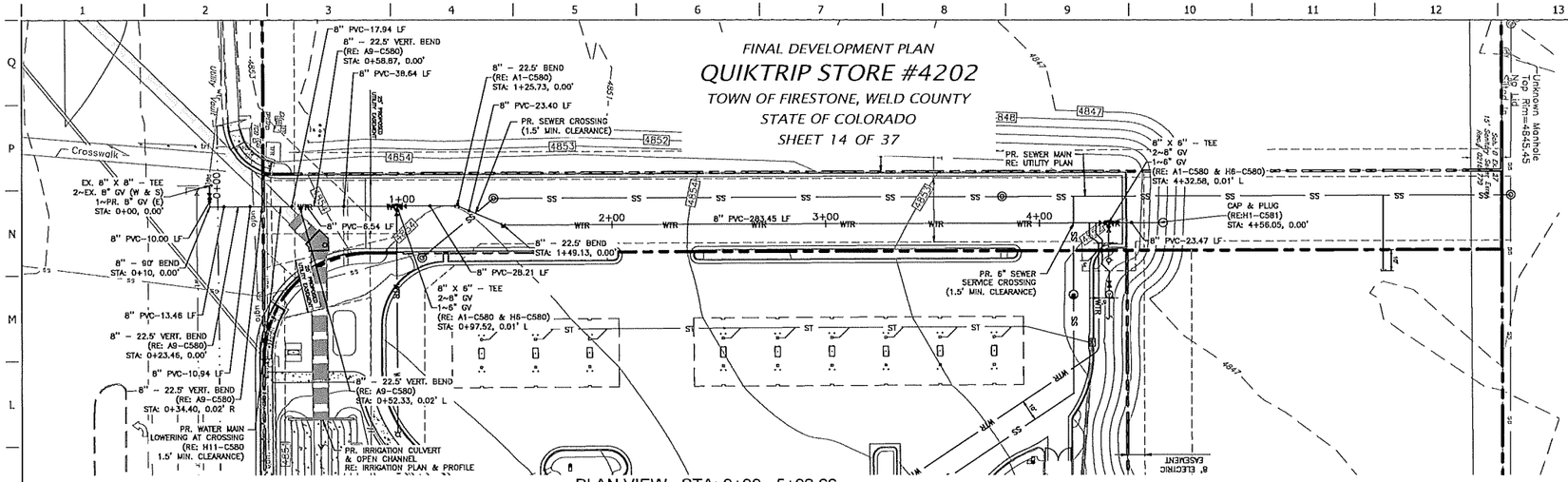
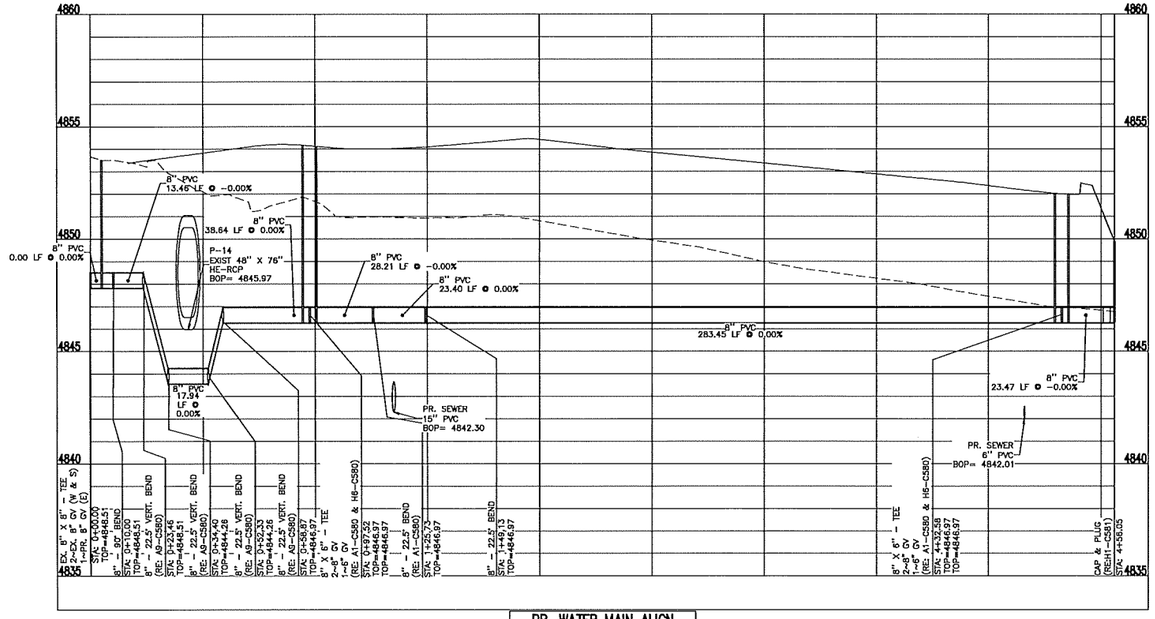
FILE LOCATION:H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\03-4202 Civil.dwg TAB NAME:Water P&P USER:Steven_Edwards SAVED:2/12/2021 4:39 PM PLOTTED:2/12/2021 4:42 PM



PLAN VIEW - STA: 0+00 - 5+02.66



PR. WATER MAIN ALIGN.
STA: 0+00 – 4+56.05
SCALE: H: 1"=10' V: 1"=10'

QUIKTRIP	
WATER PLAN & PROFILE	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	WATER PLAN & PROFILE
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 14 OF 37	

UTILITY LEGEND (NEW)

- WTR — WATER LINE
- SS — SANITARY SEWER LINE
- UGET — UNDERGROUND ELECTRIC LINE
- ST — STORM PIPE (≤ 10")
- STORM PIPE (≥ 12")
- XXX — MAJOR CONTOUR
- XXX — MINOR CONTOUR
- CONCRETE CURB AND GUTTER
- LIGHT POLE – 8' MIN. CLEAR FROM F/C
- WATER THRUST BLOCK AND VALVE
- FIRE HYDRANT
- SEWER MANHOLE

40 20 0 40 80

PROJECT NO.: QKT004202

Galloway
5142 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.5656
Galloway.US.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
WATER PLAN & PROFILE

SHEET NUMBER:
C152

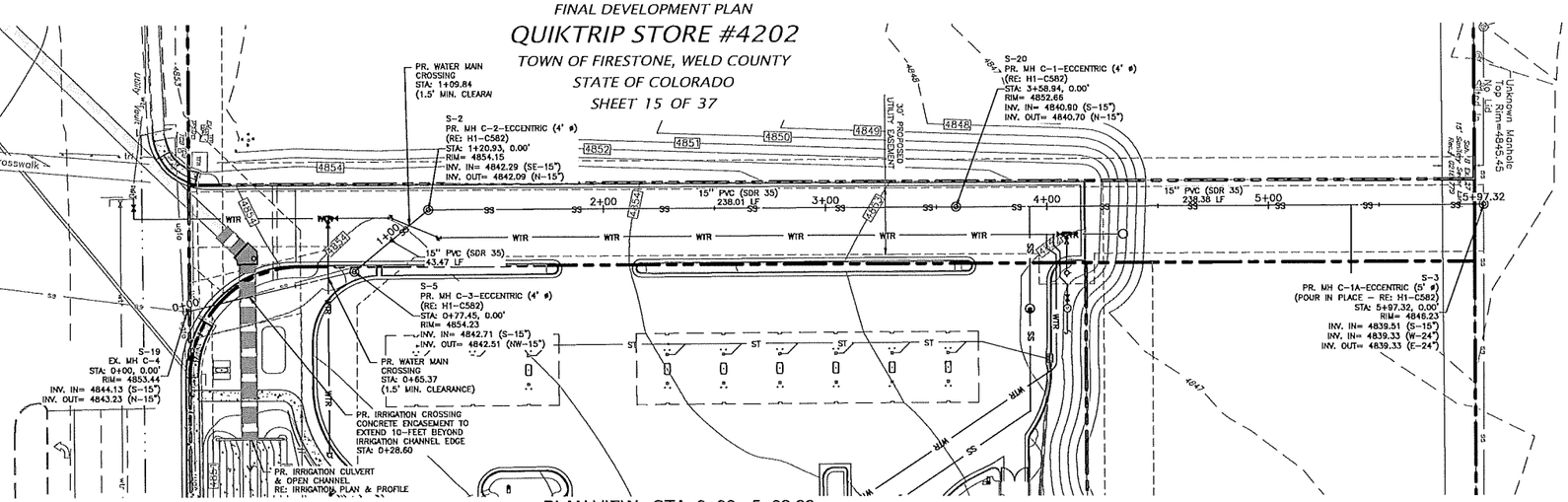
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

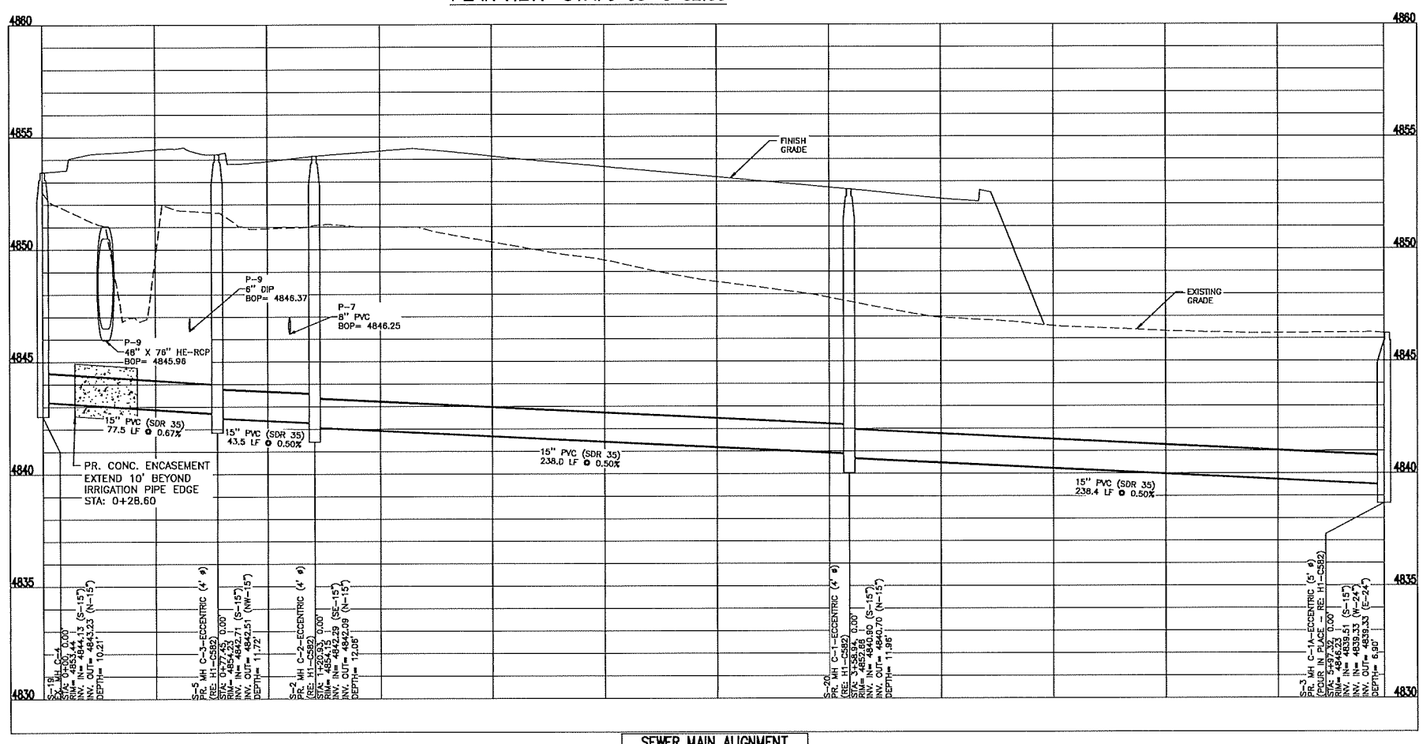
TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 15 OF 37



PLAN VIEW - STA: 0+00 - 5+02.66



SEWER MAIN ALIGNMENT
STA: 0+00 - 5+97.32
SCALE: H: 1"=10' V: 1"=10'

UTILITY LEGEND (NEW)

- WTR — WATER LINE
- SS — SANITARY SEWER LINE
- UGET — UNDERGROUND ELECTRIC LINE
- ST — STORM PIPE (≤ 10")
- STORM PIPE (≥ 12")
- XXX — MAJOR CONTOUR
- XXX — MINOR CONTOUR
- CONCRETE CURB AND GUTTER
- LIGHT POLE - 6' MIN. CLEAR FROM F/C
- WATER THRUST BLOCK AND VALVE
- FIRE HYDRANT
- SEWER MANHOLE

40 20 0 40 80

QUIKTRIP	
SEWER PLAN & PROFILE	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	SEWER PLAN & PROFILE
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 15 OF 37	

PROJECT NO.: QKT004202

Galloway

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Greenwood Village, CO 80111
303.770.8884
Galloway.US.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	5/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER MUNICIPAL COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
SEWER PLAN & PROFILE

SHEET NUMBER:
C153

FILE LOCATION=H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\B3-4202 Civil.dwg TAB NAME=Sewer P&P USER=Trevan_Edwards SAVED=2/12/2021 4:39 PM PLOTTED=2/12/2021 4:42 PM

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
	A	08	SINGLE	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	B	03	2 @ 90°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	C	00	2 @ 180°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1
	D	00	3 @ 90°	22'	12,591	0.90	SLM-LED-12L-SIL-FT-40-70-CRI	93.1

FINAL DEVELOPMENT PLAN

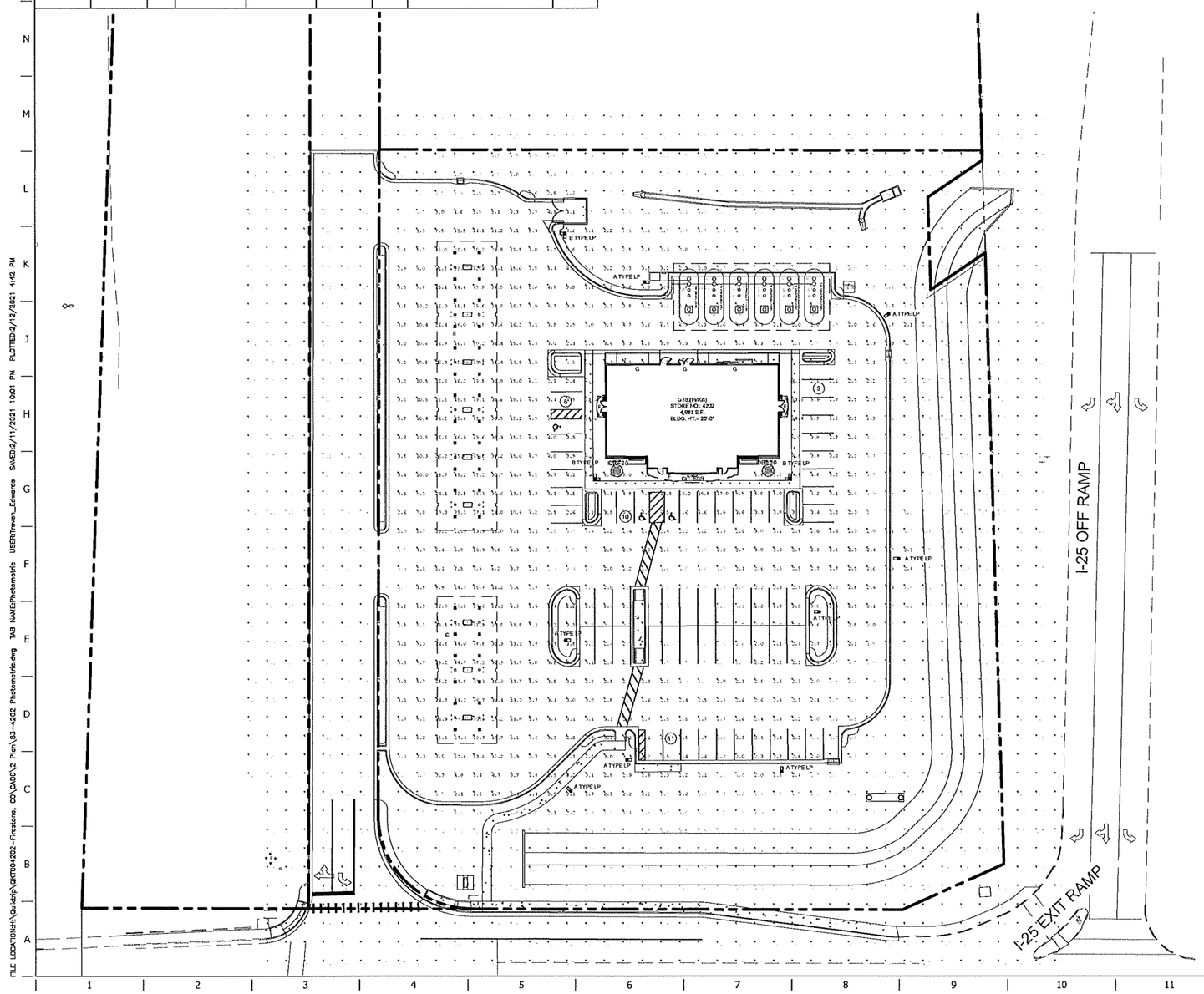
QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 16 OF 37

LUMINAIRE SCHEDULE								
SYMBOL	LABEL	QTY	ARRANGEMENT	MOUNTING HEIGHT	LUMENS PER LAMP	LLF	DESCRIPTION	TOTAL WATTS
	E	36	SINGLE	15' TO 19'	12,949	0.90	CRUS-SC-LED-SS-40	97.9
	F	09	SINGLE	10' TO 12'	5,326	0.90	XSL2-S-LED-50-SS-40	59.9
	G	03	SINGLE	12'	6,275	0.90	XWM-3-LED-06-40	54.0



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QUIKTRIP	
PHOTOMETRIC	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	PHOTOMETRIC
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 16 OF 37	

PROJECT NO.: QKTD04202

Galloway

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QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
PHOTOMETRIC

SHEET NUMBER:
C160

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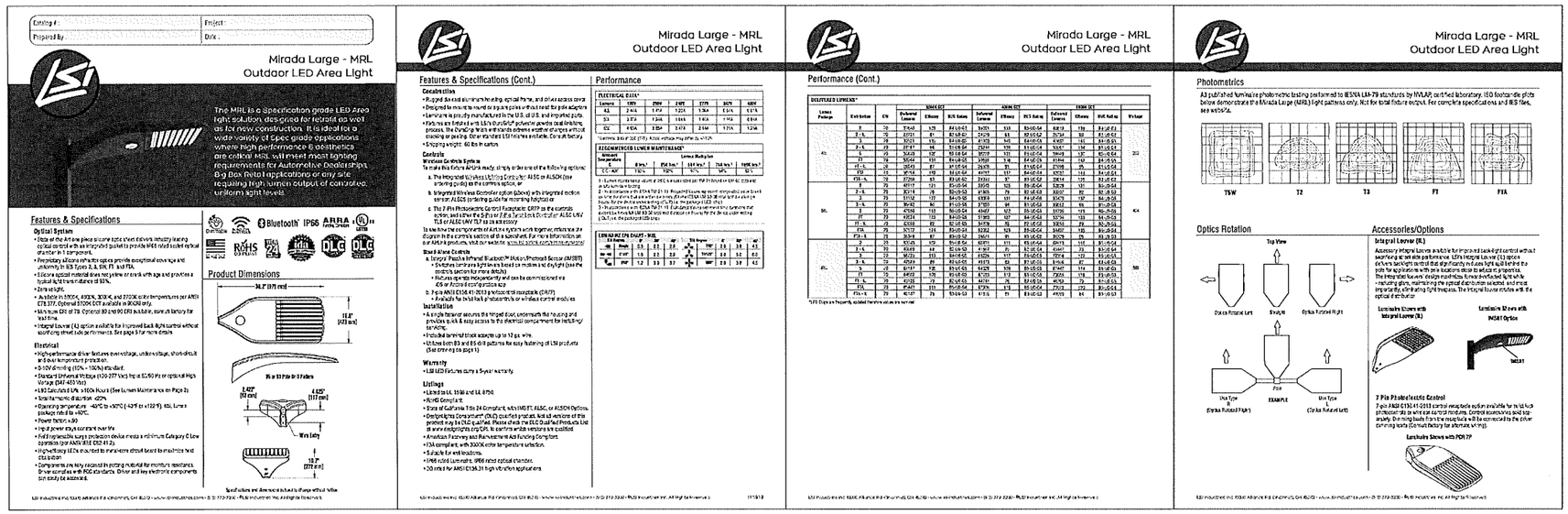
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

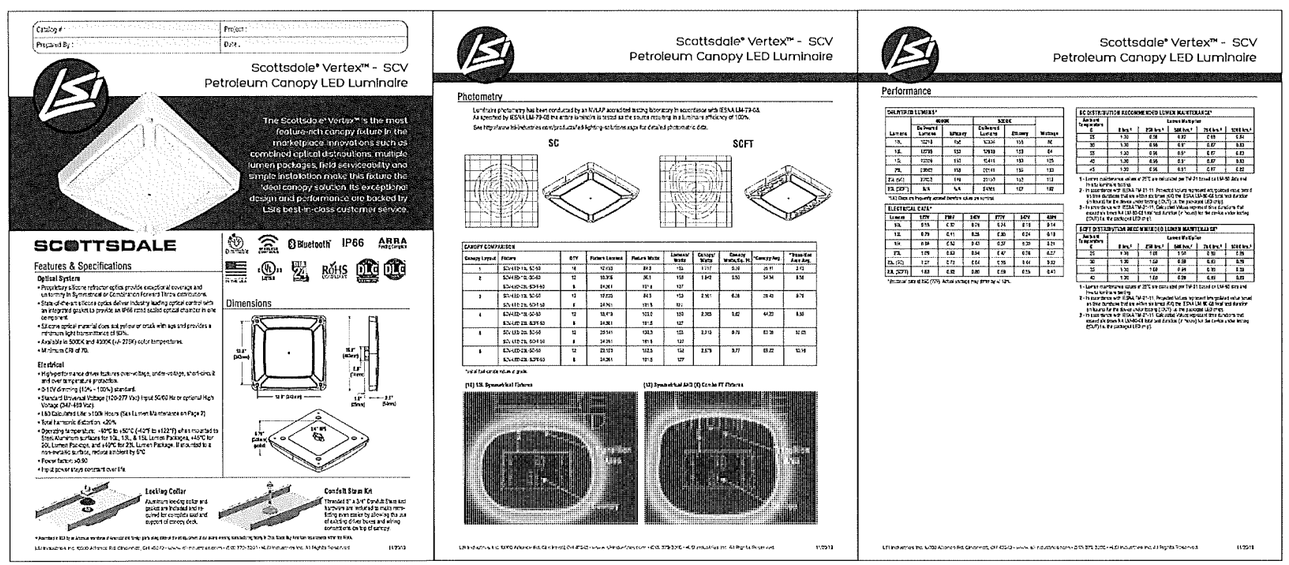
TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 17 OF 37



MANUFACTURER SPECIFICATION SHEET FOR OTDOOR LED AREA LIGHT



MANUFACTURER SPECIFICATION SHEET FOR CANOPY LED LUMINAIRE

QUIKTRIP	
PHOTOMETRIC DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	PHOTOMETRIC DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 17 OF 37	

PROJECT NO.: QKT004202

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ORIGINAL ISSUE DATE:

SHEET TITLE: PHOTOMETRIC DETAILS

SHEET NUMBER: C161

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FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 18 OF 37

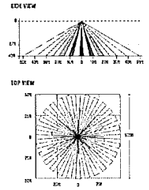
MIRADA WALL SCONCE (XWM)

DOE LIGHTING FACTS
Department of Energy has verified manufacturer provided test data and results in accordance with the Lighting Facts Program. Visit www.lightingfacts.com for specific catalog ratings.

LUMEN OUTPUT - XWM - 3 3-3000K CCT			
	LUMENS	WATTAGE	LPW
B1	8473	75	113
B4	4417	41	111
B5	6419	58	111
B3	8513	82	103

JCC Ordering Guide: Lumen Output Values are Rounded to Nearest Whole Number

COVERAGE DIAGRAM



WS B left pattern pending

SMARTSTEP - LSI drivers feature integral sensor which reduces drive current, when ambient temperatures exceed rated lamp temperature

ENERGY SAVING CONTROL OPTIONS - DIM - 0-10 volt dimming enabled with LSI wireless controls

OPTIONAL BI-NOCTAL MOTION SENSOR - Passive infrared motion sensor activates switching of luminaire light levels. High level light is activated when a person by enter target zone and increased to full brightness in 2 seconds. Low light level (50% of maximum drive current) is activated when target zone is absent of motion activity for 5 minutes and is gradually ramped down (10 seconds) to low level. Sensor detection range 119° across (±) x 80° vertical x 10 meters maximum distance.

LEDS - Available with 3000K, 4000K or 3000K color temperature, 70 CRI min.

OPTICAL DISTRIBUTIONS - Ultra high efficiency reflectors provide three distributions. Choose from Type 2, Type 3 or Type FT.

HOUSING - Three piece die cast aluminum housing is a precisely contoured low profile shape. Mounting hardware is stainless steel or electrolytic plated steel. Housing and optical unit are sealed with extruded silicone gasket, supply conductors with molded EPDM bushing.

OPTICAL UNIT - Prismatic lens & loose reflector optics provide exceptional coverage and uniformity. Pressure sensitive adhesive keeper lightly attaches lens to reflector providing cycling from building up internal pressures and vacuum that can stress optical unit seals.

WALL MOUNTING - Galvanized steel universal wall mounting plate easily mounts directly to 4" octagonal or square junction box. EPDM gasket is supplied to be installed between mounting plate and junction box, sealing junction box from entrance of water. Universal plate permits fixture to be mounted in upright (recommended) or down lighting position. Optional pole mounting bracket permits mounting to standard poles (XPMA).

ELECTRICAL - Two stage surge protection (including separate surge protection built into electronic driver) meets IEEE C62.41.2-2002, Location Category C. Available with universal voltage power supply 120-277 VAC (50/60 Hz input), and 347-480 VAC. Optional bottom type photocells (PCI) are available in 120, 208, 240, 277 or 347 volt (supply voltage must be specified).

DRIVER - Available in SS (Super Saver) and HO (High Output) drive currents. Components are fully encased in potting material for moisture resistance. Driver complies with FCC standards. Driver and key electronic components can easily be accessed

OPERATING TEMPERATURE - -40°C to +50°C (-40°F to +122°F)

FINISH - Fixtures are finished with LSI's DuraGrip® polyester powder coat finishing process. The durable finish withstands extreme weather changes without smoking or peeling. Available in black, bronze and white. Other standard LSI finishes available. Contact factory.

WARRANTY - LSI LED fixtures carry a limited 5-year warranty.

PHOTOMETRICS - Please visit our web site at www.lsiindustries.com for detailed photometric data.

SHIPPING WEIGHT (in carton) - 30 lbs (13.6 kg)

LISTING - UL listed to ANSI/UL1598, UL8750 and other U.S. and international safety standards. Suitable for wet locations in downlight position.

This product, or selected sections of this product, meet the standards listed below. Please contact factory for your specific requirements.

Project Name _____ Fixture Type _____ 10/25/17 G-292
Catalog # _____ LSI INDUSTRIES INC.

MIRADA WALL SCONCE (XWM)

LUMINAIRE ORDERING INFORMATION

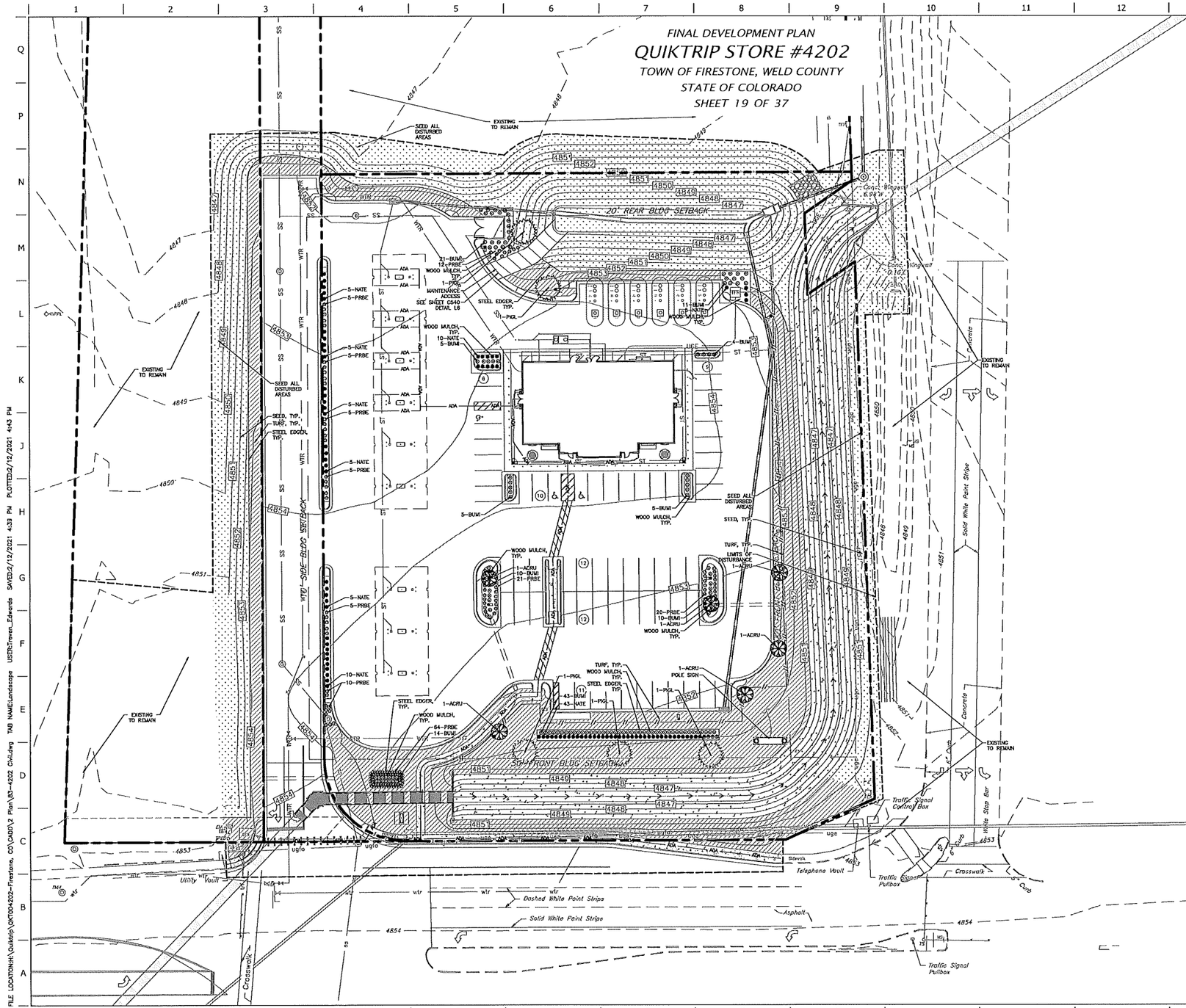
TYPICAL ORDER EXAMPLE: XWM FT LED 08L 50 UE WHT IMS

Prefix	Distribution	Light Source	Output[4]	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XWM - Mirada	2 - Type 2 3 - Type 3 FT - Type FT (Wide Throw) FT - Type FT (Forward Throw)	LED	06 - 3,400 Lumens 08 - 4,800 Lumens 09 - 5,800 Lumens 08L - 5,500 Lumens	30 - 3000K 40 - 4000K 3K - 3000K	50 - 120-277 VAC HV - 347-480 VAC UE - 120-277 VAC (HP, PTF) HL - 347-480 VAC (HP, PTF)	BLK - Black BRZ - Bronze WHT - White	Auxiliary Control Sensor[1] CSP - Photocontrol Cutter SW - Sun Control System SW - Sun Control System SW - Sun Control System Wireless Sensor Options Wireless Sensor Options Wireless Sensor Options

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 19 OF 37



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QUIKTRIP
LANDSCAPE PLAN

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	LANDSCAPE PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 19 OF 37

PROJECT NO.: QKT004202

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QuikTrip No. 4202
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5		

ORIGINAL ISSUE DATE:

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
L100

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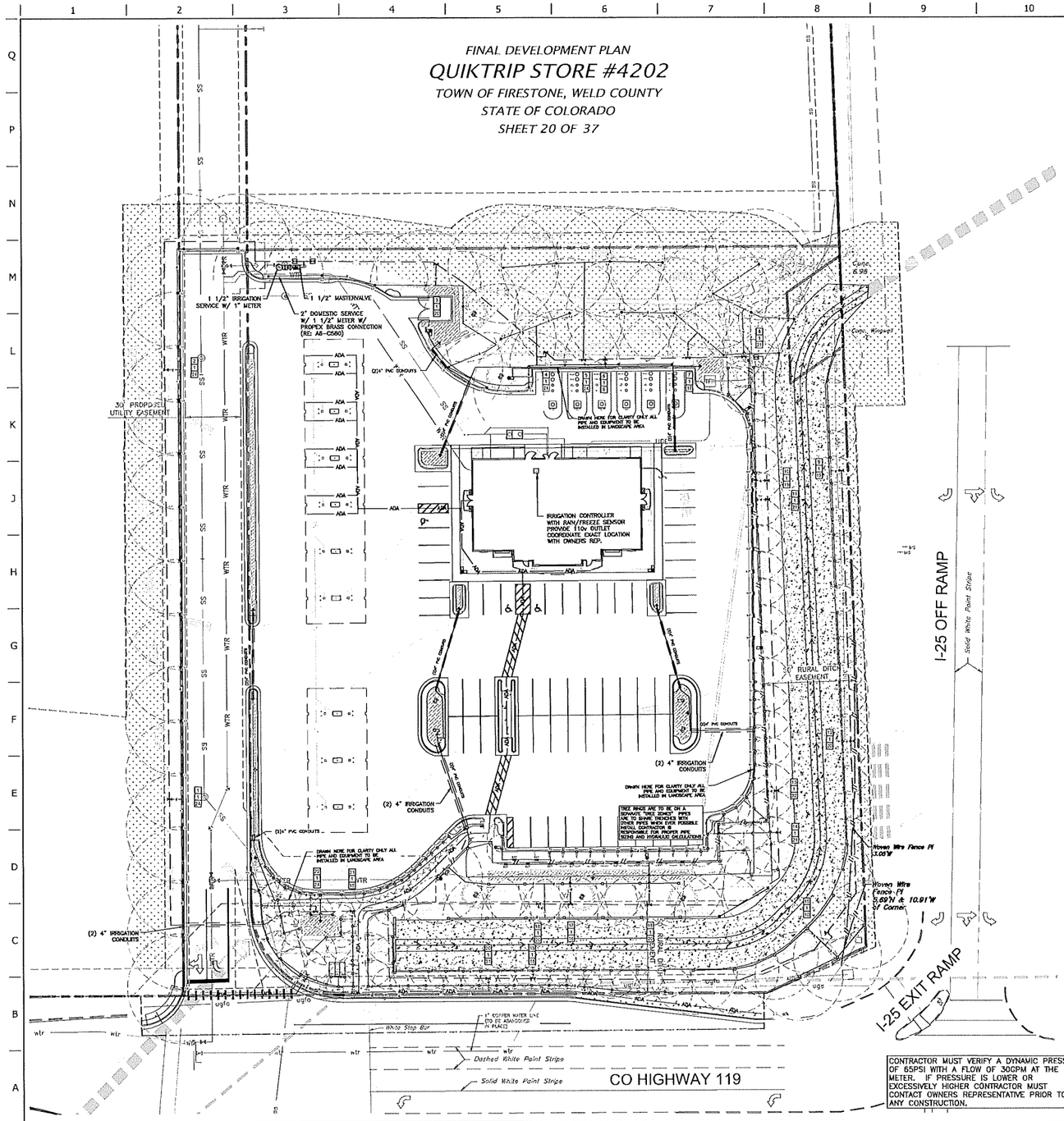
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 20 OF 37



CONTRACTOR MUST VERIFY A DYNAMIC PRESSURE OF 65PSI WITH A FLOW OF 30GPM AT THE METER. IF PRESSURE IS LOWER OR EXCESSIVELY HIGHER CONTRACTOR MUST CONTACT OWNERS REPRESENTATIVE PRIOR TO ANY CONSTRUCTION.

LARGEST ZONE

HYDRAULIC CALCULATION CHART	
ZONE No. 22	24GPM
TYPE	MIXED
BOOST PRESSURE	20psi
MAIN LINE	3.4psi
MAINLINE COMPONENTS	
BACKFLOW	8psi
WATER VALVE	3.3psi
FILTER	0.5psi
ZONE	
MAINLINE LOSS	0.07psi
VALVE LOSS	3.3psi
LATERAL LOSS	1.29psi
ELEVATION	0.3psi
SPRINKLER REQUIREMENT	30psi
TOTAL SYSTEM PRESSURE	65.97psi
REMOTE PRESSURE	12.47psi

WORSE CASE ZONE

HYDRAULIC CALCULATION CHART	
ZONE No. 9	19GPM
TYPE	MIXED
BOOST PRESSURE	20psi
MAIN LINE	3.2psi
MAINLINE COMPONENTS	
BACKFLOW	8psi
WATER VALVE	3.3psi
FILTER	0.5psi
ZONE	
MAINLINE LOSS	3.2psi
VALVE LOSS	0.5psi
LATERAL LOSS	1.3psi
ELEVATION	0.3psi
SPRINKLER REQUIREMENT	30psi
TOTAL SYSTEM PRESSURE	66.8psi
REMOTE PRESSURE	13.8psi

WATERING SCHEDULE	
APPLICATOR	PRECIP. RATE
SPRAY HEADS (SIDE STRIP)	1.00 in/hr
ROTOR HEADS (SWATH)	0.34 in/hr
ROTOR HEADS (QUOTA)	0.62 in/hr
ROTOR HEADS (QUOTA)	0.44 in/hr
DRIP AREA	0.5 in/hr

THIS SYSTEM IS EQUIPPED WITH AN ET ADAPTIVE SMART CONTROLLER AND ENVIRONMENTAL SHUT OFF SENSORS. RUN TIME AND SCHEDULE WILL VARY DAILY BASED ON ET RATES. IF MANUALLY ADJUSTING SET AN APPROPRIATE RUN TIME TO SUFFICIENTLY COMPENSATE FOR ET LOSS BASED ON SEASON AND WATERING INTERVALS.

IRRIGATION SCHEDULE

SYMBOL	DESCRIPTION	MANUFACTURER	QUANTITIES
C	CONTROLLER	WEATHERMATIC SL1600 SMARTLINE WITH SLW5 WEATHER STATION (PROVIDED BY QT, CONTRACTOR TO INSTALL)	1 EA.
	SPRAY (SIDE STIP)	RAINBIRD 1806-PRS	1 EA.
	SPRAY	RAINBIRD 1806-PRS w/MPR NOZZLES	1 EA.
	ROTOR	RAINBIRD 1806-PRS SERIES w/RVAN-1724 NOZZLES	1 EA.
	ROTOR	RAINBIRD 5000 SERIES w/NOZZLES AS LABELED ON PLAN	1 EA.
	GATE VALVE	NIBCO T113-K (SIZED TO MATCH PIPE)	1 EA.
	Y- STRAINER	1" WATTS "S" SERIES	1 EA.
	DRIP CONTROL VALVE	RAINBIRD XCZ-100-PRB-LC DRIP KIT ASSEMBLY	1 EA.
	REMOTE CONTROL VALVE	RAINBIRD PEB SERIES (ROTOR ZONE VALVE TO HAVE PRESSURE DIAL)	1 EA.
	BACKFLOW ASSEMBLY	1" DOUBLE CHECK VALVE ASSEMBLY	1 EA.
W	WATER METER	1" METER	1 EA.
	DRIP ARE CONNECTION	APPROXIMATE CONNECTION POINT TO DRIP AREA MANIFOLD	
	MAINLINE PIPING	2" SCHEDULE 40 PVC WITH TRACER WIRE (LOOPED) 2" SCHEDULE 40 PVC WITH TRACER WIRE (SUB-MAIN)	1,345LF 540LF
	SLEEVE PIPING	SCHEDULE 40 PVC	
	LATERAL PIPING	SCHEDULE 40 PVC	
12 1" 20	STATION NUMBER VALVE SIZE GPM (APPROX.)		
	NETAFIM DRIP IRRIGATION	TECHLINE-CV-06-12	
	NETAFIM DRIP TREE RING	TECHLINE-CV-06-12	

GENERAL NOTES

1. THE IRRIGATION DESIGN IS CONCEPTUAL AND DIAGRAMMATIC. THE INTENT OF THE DRAWINGS IS TO SHOW THE GENERAL LAYOUT AND LOGIC OF THE SYSTEM. SCALED MEASUREMENTS MAY NOT BE ACCURATE. ACTUAL LOCATIONS AND QUANTITIES OF PIPE AND FITTINGS MAY VERY DUE TO FIELD ADJUSTMENTS FOR EXISTING CONDITIONS AND OTHER OBSTRUCTIONS TO PROVIDE THE PROPER AND INTENDED COVERAGE.
2. FLOW RATES ARE ESTIMATED AND AS SUCH WILL VERY IF ALTERNATE NOZZLES ARE SELECTED BY CONTRACTOR,
3. CONTRACTOR WILL ASSUME ALL RESPONSIBILITY FOR FLOW, PIPE SIZING HYDRAULIC CALCULATIONS, INSTALL, ADJUSTMENTS AND WARRANTIES.
4. ARCS SHOWN DEPICT MAXIMUM RADIUSES. CONTRACTOR IS RESPONSIBLE FOR PROPER NOZZLE ADJUSTMENT SO AS NOT TO OVER SPRAY OR WATER ANY SIDEWALKS, PARKING AREAS, OR ANY OTHER NON PERVIOUS AREAS.
5. TREE RINGS ARE TO BE ON SEPARATE "TREE ZONES". WHEN POSSIBLE PIPE IS TO DE RUN IN TRENCHES WITH OTHER PIPE. IRRIGATION CONTRACTOR IS RESPONSIBLE FOR PROPER PIPE SIZING FOR TREE ZONES.
6. CONTRACTOR SHALL INSTALL ALL EQUIPMENT AS PER MANUFACTURE'S CURRENT SPECIFICATIONS AND IN ACCORDANCE WITH ALL LAWS AND CODES THAT GOVERN FIRESTONE CO.
7. CONTRACTOR SHALL CAREFULLY VERIFY A MINIMUM DYNAMIC WATER PRESSURE OF 65psi WITH A FLOW OF 30gpm AT THE WATER METER LOCATION PRIOR TO INSTALLATION. CONTRACTOR SHALL NOTIFY ARCHITECT IF WATER PRESSURE IS LESS THAN OR SIGNIFICANTLY HIGHER THAN NOTED.
8. CONTRACTOR WILL COORDINATE EXACT LOCATIONS OF WATER METER, BACK FLOW PREVENTER, CONTROLLER AND CLIMATE SENSORS WITH THE ARCHITECT AND GENERAL CONTRACTOR.
9. WHEN TRENCHING UNDER THE DRIP LINE OF EXISTING TREES EXTREME CARE MUST BE GIVEN TO AVOID ROOT DAMAGE. IF AT ALL POSSIBLE AVOID TRENCHING INSIDE THE DRIP LINE BY GOING AROUND THE TREE RATHER THAN UNDER IT. IF TRENCHING MUST OCCUR UNDER THE DRIP LINE, USE EITHER TUNNELING OR HAND-DIGGING METHODS RATHER MECHANICAL TRENCHER. MINIMIZE THE IMPACTS OF ROOT SEVERING BY AVOIDING CONSTRUCTION DURING HOT, DRY WEATHER, KEEPING TREES WELL WATERED BEFORE AND AFTER DIGGING AND COVERING ROOTS WITH SOIL OR MULCH SOON AS POSSIBLE.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE CAUSED TO ALL UTILITIES (BOTH OVERHEAD AND UNDER GROUND) DURING THE IRRIGATION INSTALLATION. CONTRACTOR SHALL SEEK THE ASSISTANCE AT LOCAL UTILITIES AND THE OWNER IN THE LOCATION OF THE UTILITIES PRIOR TO PERFORMING TRENCHING OPERATIONS IN THE WORK AREA.
11. WINTERIZATION SHALL BE DONE BY "AIR BLOW OUT" METHOD.
12. ALL MAINLINE SHALL BE SCH40 PVC. ALL LATERAL PIPING SHALL BE SCH40 PVC PIPING. ALL PVC FITTINGS SHALL BE PVC TYPE 1 AND MUST BE OF DOMESTIC MANUFACTURE. PVC SOLVENT CEMENT AND PRIMER SHALL BE AS RECOMMENDED / APPROVED BY THE MANUFACTURE OF THE PIPE.
13. ALL SLEEVES WILL BE SCH40 AND MUST BE A MINIMUM OF TWO PIPE SIZES LARGER THAN THE COLLECTIVE SIZES OF ALL PIPES TO BE PLACED IN SLEEVE

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1" = 30'

QUIKTRIP	
IRRIGATION PLAN	
NAME OF APPLICATION:	QUIKTRIP
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PREPARATION DATE:	FEBRUARY 14, 2020
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SHEET 20 OF 37	

PROJECT NO.: QKT004202

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L110

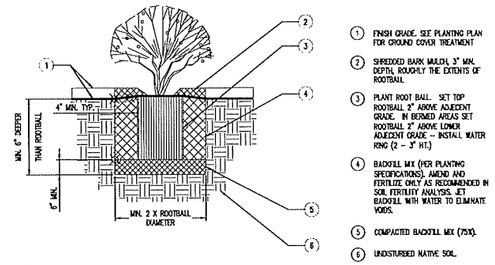
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

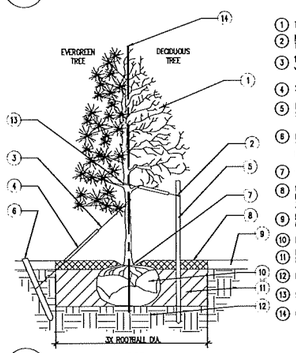
SHEET 21 OF 37



1. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
2. SHREDDED BARK MULCH, 3" MIN. DEPTH, ROUGHLY THE EXTENTS OF ROOTBALL
3. PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJACENT GRADE – INSTALL WATER RING (2 – 3" HT.)
4. BACKFILL MIX (PER PLANTING SPECIFICATIONS). AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. JET BACKFILL WITH WATER TO ELIMINATE VOIDS.
5. COMPACTED BACKFILL MIX (75%).
6. UNDISTURBED NATIVE SOIL.

1 SHRUB AND PERENNIAL DETAIL

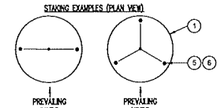
SCALE: NOT TO SCALE



1. TREE CANOPY.
2. NYLON TREE STRAPS AT ENDS OF WIRES – SECURE TO STAKE OR DEADMEN WITH NAILS.
3. 12 GAUGE GALVANIZED WIRE. SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
4. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
5. PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL.
6. PRESSURE-TREATED WOOD DEADMEN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
7. TRUNK FLARE.
8. WOOD MULCH TREE RING 3" DIA MIN. TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
9. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
10. ROOT BALL–SEE NOTE 3, THIS DETAIL
11. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
12. UNDISTURBED NATIVE SOIL
13. SOFT VELCRO, OR OTHER FABRIC WRAP
14. CENTRAL LEADER, SEE PLANTING NOTES

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"–5" ABOVE FINISH GRADE.
3. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL.
4. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
5. REMOVE ALL NURSERY STAKES AFTER PLANTING.
6. FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.

STAKING EXAMPLES (PLAN VIEW)



2 TREE PLANTING DETAIL

SCALE: NOT TO SCALE

LANDSCAPE GUARANTEE AND MAINTENANCE

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

Landscape Schedule

USE	SYMBOL	COMMON NAME *Botanical Name*	SIZE/ HEIGHT/SPREAD	WATER USE	QUANTITIES	COMMENTS
SHRUBS	(BUMI)	LITTLELEAF BOXWOOD *Buxus microphylla*	24"ø X 36" HT MIN	L	128	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR LANDSCAPE BED LOCATIONS AND SHRUB SPACING
SHRUBS	(PRBE)	PAWNEE BUTTES SAND CHERRY *Prunus besseyi 'Pawnee Buttes'*	18"ø X 72" HT MIN	VL	152	
GRASSES	(NATE)	FEATHER REED GRASS *Calamagrostis acutiflora 'Karl Foerster'*	60"ø X 24" HT MIN	L	93	
FRONTAGE TREES	(ACRU)	RED MAPLE *Acer Rubrum*	2" CALIPER 40'X30'	M	5	
FILL TREES	(PIGL)	BLACK HILLS SPRUCE *Picea glauca 'Densata'*	6' MINIMUM HT. 20'X10'	M	5	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR TREE PLACEMENT, AND PLANTING SPECIFICATIONS CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH QT REPRESENTATIVE PRIOR TO INSTALLATION
MOSCREENING TREES		FESCUE SOD RTF (RHIZOMATOUS TALL FESCUE)		M	24,750 S.F.	
		KENTUCKY BLUEGRASS (COLORADO BLUE)		M	0 S.F.	
		LOWLAND SEED		L	35,295 S.F.	
		BUTTER ROCK MULCH 3/4" ROCK COBBLE MULCH WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS		N/A	3,750 S.F.	
		DECOMPOSED GRANITE, WITH WOOD MULCH RING AROUND ALL PLANT MATERIAL. SEE PLANTING NOTES & DETAILS		N/A	0 S.F.	
		WOOD MULCH (DARK BROWN SHREDDED HARDWOOD MULCH)		N/A	0 S.F.	
		STEEL EDGER (BLACK STEEL EDGING SEE LANDSCAPE NOTES)		N/A	1,225 L.F.	

PLANTING NOTES

GENERAL

1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION

13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (EEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16–20–0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12–12–12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL–BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING

17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL–SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO "T–STAKES" SHALL BE USED FOR TREES.
20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
23. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
24. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6–INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: GREEN.
25. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNS SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
26. A 3–FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
27. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING

28. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
29. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
30. INSTALL DEWITT PRO–5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
31. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
32. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DEMOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
33. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE JCT–125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

QUIKTRIP	
LANDSCAPE DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	LANDSCAPE DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 21 OF 37	

PROJECT NO.: QKT004202

Galloway
8120 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.6594
Galloway.us.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	5/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

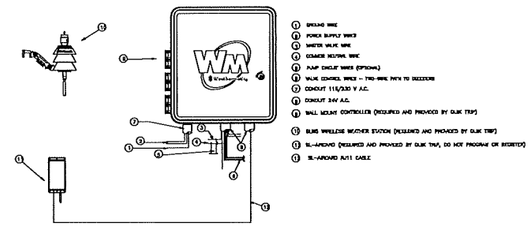
ORIGINAL ISSUE DATE:

SHEET TITLE:
LANDSCAPE DETAILS

SHEET NUMBER:
L500

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\L500 DETAILS L5.dwg TAB NAME: LS Detail Sheet 1 USER: Trevon_Edwards SAVED: 2/9/2021 9:30 AM PLOTTED: 2/12/2021 4:43 PM

FINAL DEVELOPMENT PLAN
QUIKTRIP STORE #4202
TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 22 OF 37

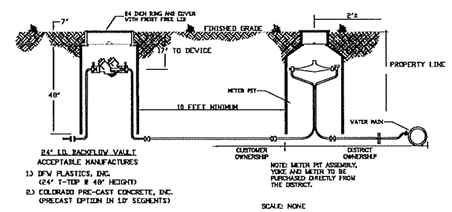


NOT TO SCALE

L1 | SL1600 w/SLM48DM SERIES CONTROLLER W/SLW5 & AIRCARD
SN:

WILKINS MODEL 950XLT DOUBLE CHECK VALVE ASSEMBLY, OR EQUAL.

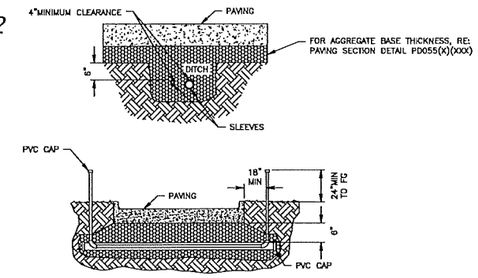
NOTE: RP ASSEMBLIES WILL NOT BE APPROVED FOR UNDERGROUND INSTALLATIONS



SCALE: NONE

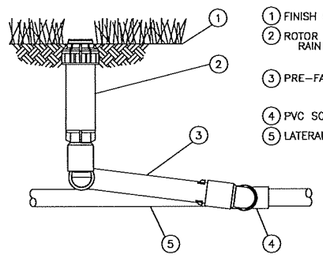
BACK FLOW DEVICE VAULT (3/4" to 2" SERVICE LINE)	LEFT HAND WATER DISTRICT		
	REV. 7/17/2017	ADM	16A-DO

L6 | DOUBLE CHECK VALVE ASSEMBLY IN A VAULT
SN:



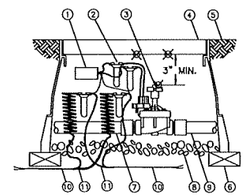
NOTES:
1. ALL PVC IRRIGATION SLEEVING UNDER PAVEMENT TO BE SCHEDULE 40.
2. ALL PVC IRRIGATION SLEEVING UNDER SIDEWALKS MAY BE CLASS 200.
3. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
4. WHERE THERE IS MORE THAN ONE SLEEVE, EXTEND SMALLER SLEEVE TO 24" MINIMUM ABOVE FINISH GRADE.
5. MECHANICALLY TAMP TO 95% SPD.

L11 | IRRIGATION SLEEVING
SN:



1. FINISH GRADE
2. ROTOR POP-UP SPRINKLER: RAIN BIRD 5004
3. PRE-FABRICATED SWING JOINT:
4. PVC SCH 40 TEE OR ELL
5. LATERAL PIPE

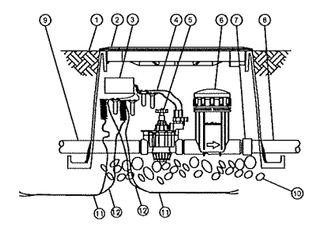
F1 | RAIN BIRD 5000/6500 SERIES POP-UP ROTORY HEAD
SN:



1. FIELD DECODER: WEATHERMATIC SLDEC1 2-WIRE DECODER
2. DRY SPLICE WIRE CONNECTOR (1 OF 4)
3. RAIN BIRD PEB SERIES REMOTE CONTROL VALVE
4. 12-INCH VALVE BOX WITH COVER
5. FINISH GRADE OR TOP OF MULCH
6. BRICK (1 OF 4)
7. PVC MAINLINE PIPE
8. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
9. PVC LATERAL PIPE
10. TWO-WIRE CABLE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR SL1600 CONTROLLER)
11. COMMUNICATION WIRE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR SL1600 CONTROLLER)

NOTES:
1. MAXIMUM LENGTH OF SECONDARY WIRE PATH (14 AWG) FROM FIELD DECODER TO SOLENOID IS 450 FEET.
2. PLACE 3 FEET OF EXTRA WIRE IN EVERY VALVE BOX FOR EASIER SERVICING.

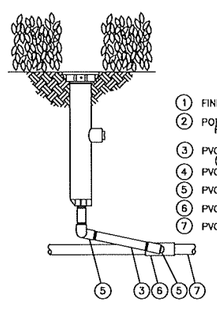
F6 | RAIN BIRD PEB SERIES CONTROL VALVE
SN:



1. FINISH GRADE/TOP OF MULCH
2. VALVE BOX WITH COVER
3. WEATHERMATIC SLDEC1 2-WIRE DECODER
4. WATERPROOF CONNECTION
5. REMOTE CONTROL VALVE: RAIN BIRD 100-PGA (INCLUDED IN XCZ-100-PRB-LC KIT)
6. PRESSURE REGULATING BASKET FILTER: RAIN BIRD PRB-100 (INCLUDED IN XCZ-100-PRB-LC KIT)
7. PVC SCH 40 FEMALE ADAPTOR
8. LATERAL PIPE
9. MAINLINE PIPE
10. 3-INCH MINIMUM DEPTH OF 3/4-INCH WASHED GRAVEL
11. TWO-WIRE CABLE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR SL1600 CONTROLLER)
12. COMMUNICATION WIRE TO NEXT DEVICE (FIELD DECODER, SENSOR DECODER, LINE SURGE PROTECTOR OR SL16DO CONTROLLER)

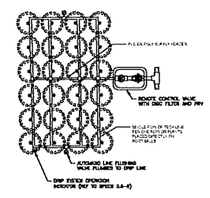
NOTES:
1. MAXIMUM LENGTH OF SECONDARY WIRE PATH (14 AWG) FROM FIELD DECODER TO SOLENOID IS 450 FEET.
2. PLACE 3 FEET OF EXTRA WIRE IN EVERY VALVE BOX FOR EASIER SERVICING.

F11 | RAIN BIRD XCZ-1DD-PRB-LC DRIP KIT/RAIN BIRD XCZ-150-PRB-COM DRIP KIT
SN:



1. FINISH GRADE/TOP OF MULCH
2. POP-UP SPRAY SPRINKLER: RAIN BIRD 1806-PRS
3. PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
4. PVC SCH 40 ELL
5. PVC SCH 40 STREET ELL
6. PVC SCH 40 TEE OR ELL
7. PVC LATERAL PIPE

A1 | RAIN BIRD 1806 SERIES POP-UP SPRAY HEAD
SN:



PLANTING AREA
(ONE LINE OF TECH LINE PER ROW)

NOTE:
1. RECOMMENDED MINIMUM FILTRATION 120 MESH
2. PRESSURE AT FLUSH VALVE SHALL BE MIN 14.5 PSI
3. 2 PSI CHECK VALVE (MAX 4.6' OF WATER (ELEVATION CHANGE))
4. REFER TO MAXIMUM LENGTH OF A SINGLE LATERAL CHART

A6 | NETAFIM DRIP IRRIGATION TECHLINE-CV-06-12
SN:

A11 | NOT USED
SN:

QUIKTRIP IRRIGATION PLAN	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	IRRIGATION PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 22 OF 37

PROJECT NO.: QKT004202

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QuikTrip No. 4202
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FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/24/20	REVISED PER RURAL DITCH COMMENTS
3	8/31/20	REVISED PER MUNICIPAL COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS
		ORIGINAL ISSUE DATE:

SHEET TITLE:
IRRIGATION DETAILS SHEET 1

SHEET NUMBER:
L510

FINAL DEVELOPMENT PLAN

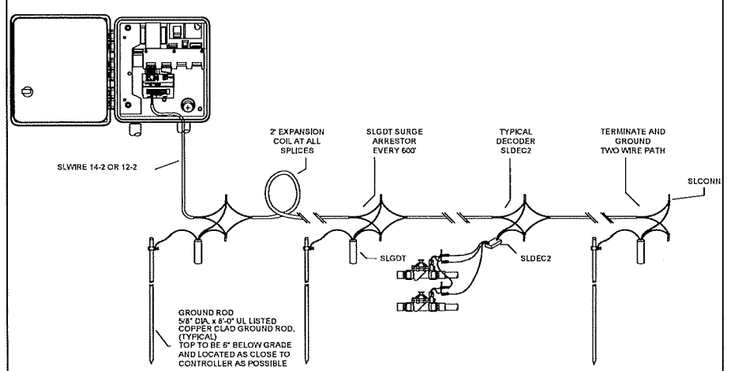
QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

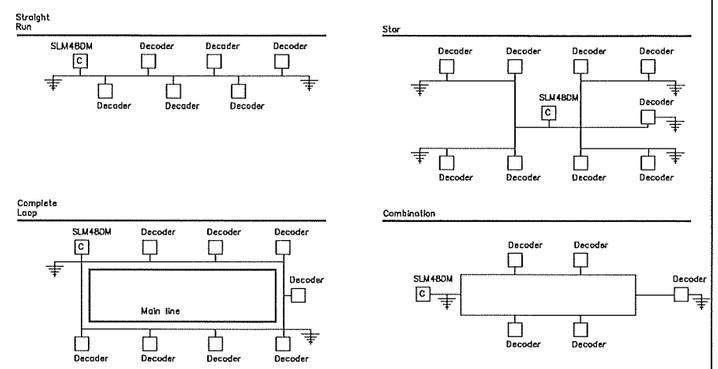
STATE OF COLORADO

SHEET 23 OF 37

Two-wire irrigation details:



J1	SYSTEM REQUIREMENTS
NTS	SN:



J7	SMARTWIRE WIRE PATH LAYOUT
NTS	SN:

Straight line configuration, i.e. wire distance to furthest decoder, no loop:

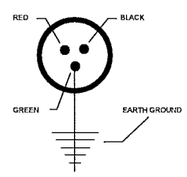
Wire Size (Guage)	#18	#16	#14	#12
Wire Length (ft)	1,000	2,000	4,000	6,000
Wire Length (m)	300	600	1,200	1,800

Loop Configuration, i.e. wire distance to the furthest decoder in the loop:

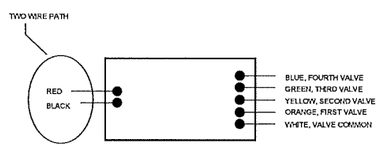
Wire Size (Guage)	#18	#16	#14	#12
Wire Length (ft)	2,000	4,000	10,000	10,000
Wire Length (m)	600	1,200	3,000	3,000

Maximum total wire path length is 10,000 ft. (3,000 m).

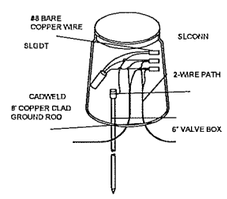
E1	WIRE SIZING
NTS	SN



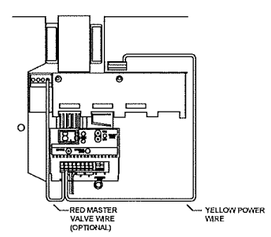
E5	SLGDT SCHEMATIC
NTS	SN



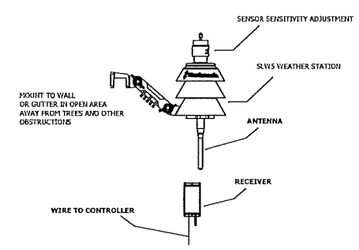
E9	DECODER SCHEMATIC
NTS	SN



A1	GROUNDING DETAIL
NTS	SN



A5	POWER AND MASTER VALVE DETAIL
NTS	SN



A9	SLW5 WEATHER STATION
NTS	SN

Two-wire notes:

NOTES

1. Specific wire polarity is required. Maintain red and black wire polarity throughout installation.
2. Maintain independent wire path for each controller. No splicing or joining wire paths for multiple controls.
3. Up to three independent wire paths may be run for each SLM480M.
4. Maximum distance from SLDEC decoders to remote control valve not to exceed 100' (30.5m).
5. Each 2-wire run may be laid out in straight run, complete loop, star, or combination layouts as shown in details. Always terminate and ground each leg of the wire path using manufacturer's recommended grounding methods.
6. Use a continuous loop wire path whenever possible to provide the best communication and power path for the system. Looping provides a redundant path for the power and signal allowing the system to continue operation in the event the wire path is cut.
7. Mark each zone number on the SLDEC decoder. For multi-valve decoders record the zone in order of wire color code: orange, yellow, green, and blue.
8. Mark all zone numbers and decoder locations on the as-built plan for final submittal.
9. Secure all Red and Black 2-wire connections using only manufacturer's supplied SLCONN aluminum connectors and grease filled waterproof connectors.
10. All remote control valve wire splices shall be secured using an encapsulated, gel-filled waterproof wire connector suitable for direct burial and installed according to manufacturer's specifications.
11. Use SmartWire SLWIRE cable supplied by Weathermatic sprinkler division of Telsco Industries to comply with the following specifications:

    a. Conductors must be soft drawn, annealed, solid copper conforming to ASTM 33.

    b. Conductor insulation must be 4/64-inch thick polyvinyl chloride (PVC) conforming to UL #493.

    c. The two insulated conductors laid in parallel and encased in a single outer jacket of 3/64-inch thick, high-density, sunlight resistant polyethylene conforming to ICEA S-61-402 and NEMA WC5, having a minimum wall thickness of .045-inch.

    d. The two conductors must be color-coded: normally one conductor red and the other black. Both conductors shall be the same size.

    e. The following brands meet the above specifications for direct burial cable: Weathermatic SLWIRE12; Weathermatic SLWIRE14.
12. Wire sizing and maximum distance shall not exceed manufacturer's recommendations to avoid voltage loss and insure proper operation of the system.
13. All 2-wire paths under hardscape surfaces shall be sleeved and include no splices of the 2-wire path within 5' of sleeves. Secure a 2' (0.6m) expansion loop in the two-wire path at each change of direction and entry and exit of sleeve locations during wire installation. Release the expansion loops prior to direct burial.
14. Install one SLGDT surge arrester at the following locations along the 2-wire path: within 25' (7.5m) of each controller, the farthest distance on the 2-wire path from the controller, every 300' along the wire path, at any independent branch termination greater than 50' (15m) from than main 2-wire path.
15. Connect each SLGDT to an 8' copper clad UL approved grounding round or other approved grounding method to obtain 12 ohms or less resistance. Use CADWELD TM permanent welded, low-resistance connection to assure best grounding performance. Consult ASIC specification 100-2002 for additional grounding specifications for appropriate for local soil conditions.
16. Use care in stripping all wire connections to avoid damage to the 2-wire shield and red and black wire path. Remove and discard any damaged 2-wire sections and repair using two SLCONN splice kits.
17. Use expansion coils on the red and black wires at each decoder installation. No expansion coils are necessary for the SLGDT.
18. Adhere to all local and national building and electrical codes.

Scale Not to Scale

QUIKTRIP	
IRRIGATION PLAN	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	IRRIGATION PLAN
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 23 OF 37	

PROJECT NO.: QKT004202

Galloway
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Greenwood Village, CO 80111
303.770.8561
Galloway US.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	5/28/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL LATCH COMMENTS
3	8/26/20	REVISED PER RURAL STITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
IRRIGATION DETAILS SHEET 2

SHEET NUMBER:
L511

1. 4" THICK X 4000 P.S.I. CONCRETE LADDER PAD W/6"X6" 10 GA. W.W.F. PLACED LEVEL, MID-DEPTH (TYPICAL)
2. 4" THICK X 4000 P.S.I. CONCRETE SIGN PAD W/6"X6" 10 GA. W.W.F. PLACED LEVEL, MID-DEPTH (TYPICAL)
3. CAULK CONSTRUCTION JOINT BETWEEN SIGN AND LADDER PADS.
4. FOR QT SIGN PAD PLACEMENT, RE: SITE PLAN FOR SITE SPECIFIC SIGNAGE.

FINAL DEVELOPMENT PLAN

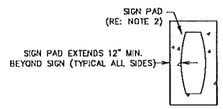
QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

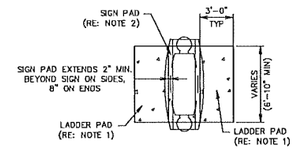
STATE OF COLORADO

SHEET 24 OF 37

STORE SIDE



QT MONUMENT SIGN W/ ELECTRIC PRICER
(LADDER PADS OMITTED)



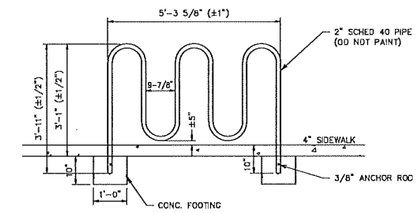
QT HIGH RISE SIGN

STREET SIDE

L1 GEN III SIGN PAD DETAIL

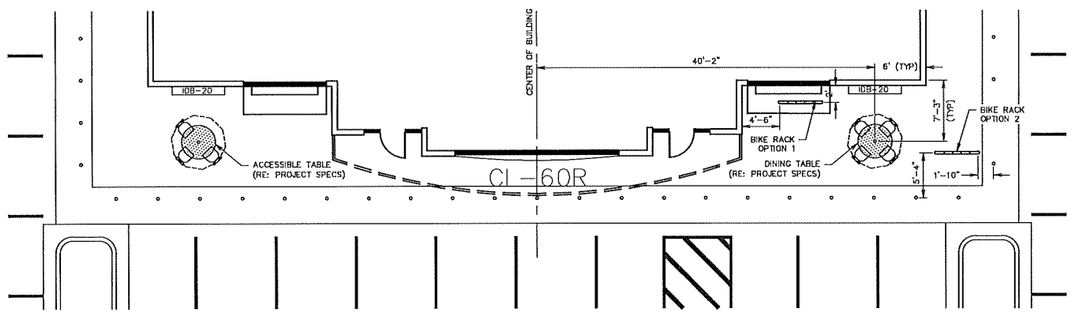
NTS | SN: SD015A005

MODEL: BELSON OUTDOORS MODEL: H36-7-G-IG
(PROVIDED BY CONTRACTOR)



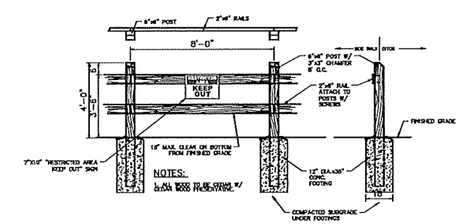
L11 GEN III BIKE RIBBON RACK DETAIL

NTS | SN: SD022A005



F1 OUTSIDE TABLE PLACEMENT

NTS | SN: SD024A002



NOTES:
1. ALL WOOD TO BE COVERED W/ STAIN WOOD PRESERVE.

F11 WOOD SPLIT RAIL FENCE DETAIL

NTS | SN:

A1 NOT USED

NTS | SN:

A6 NOT USED

NTS | SN:

QUIKTRIP	
MISC. SITE DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	MISC. SITE DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 24 OF 37	

PROJECT NO.: QKT004202

Galloway

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QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

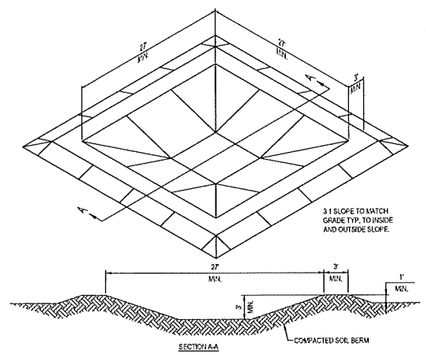
REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS
		ORIGINAL ISSUE DATE:

SHEET TITLE:
MISC. SITE DETAILS

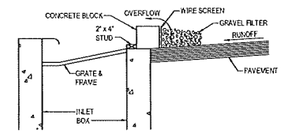
SHEET NUMBER:
C500

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\83-4202 DETAILS MISC. SITE-.dwg TAB NAME: C500-Site Details USER: Steven_Edwards SAVED: 2/9/2021 9:38 AM PLOTTED: 2/15/2021 2:24 PM

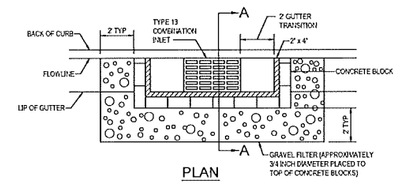
FINAL DEVELOPMENT PLAN
QUIKTRIP STORE #4202
TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 25 OF 37



L1 CONCRETE WASHOUT AREA
NTS | SN:

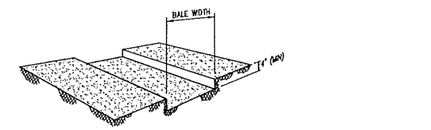


SECTION A

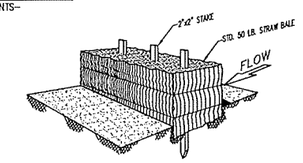


PLAN

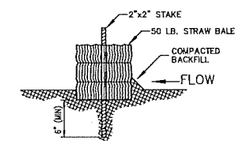
L6 INLET GRAVEL FILTER
NTS | SN:



TRENCH EXCAVATION
-NTS-



STRAW BALE INSTALLATION
-NTS-



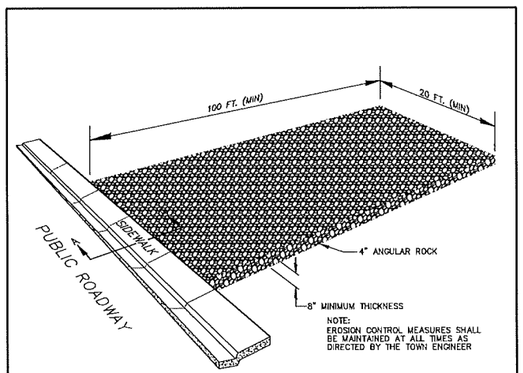
SECTION
-NTS-

NOTE: EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL LANDSCAPING IS COMPLETED.

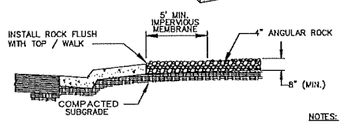
STRAW BALE EROSION BARRIER

FIRESTONE COLORADO | STORM SEWER CONSTRUCTION DRAWINGS | BY: JME | SCALE: NTS | DATE: 1/2020 | DRAWING: STM5

F11 STRAW BALE DIKE
NTS | SN:



NOTE:
EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES AS DIRECTED BY THE TOWN ENGINEER



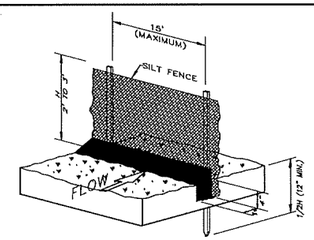
SECTION A-A
-NTS-

NOTES:
1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION
2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES

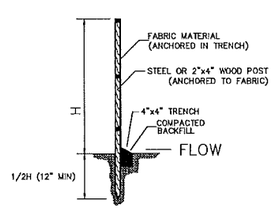
TRACKING CONTROL PAD - CRUSHED ROCK

FIRESTONE COLORADO | STORM SEWER CONSTRUCTION DRAWINGS | BY: JME | SCALE: NTS | DATE: 1/2020 | DRAWING: STM6A

A1 TEMPORARY VEHICLE TRACKING CONTROL
NTS | SN:



SILT FENCE INSTALLATION
-NTS-



SECTION
-NTS-

NOTES:
1. INSTALL SILT FENCE PARALLEL TO THE CONTOUR OF THE LAND.
2. EXTEND ENDS UPSLOPE TO ALLOW WATER TO POND BEHIND FENCE.
3. EXCAVATE A TRENCH 4 INCHES WIDE AND 4 INCHES DEEP.
4. INSTALL FENCE WITH POSTS ON THE DOWNSLOPE SIDE.
5. PLACE 8 INCHES OF FABRIC IN THE TRENCH, EXTENDING THE BOTTOM 4 INCHES TOWARD THE UPSLOPE SIDE.
6. JOIN SILT FENCE SECTIONS BY USING A WRAP JOINT.
7. BACKFILL TRENCH WITH SOIL MATERIALS AND COMPACT.
8. INSPECT AT LEAST WEEKLY AND AFTER EACH STORM EVENT, REPAIRING AS NEEDED AND REMOVING SEDIMENT DEPOSITS WHEN THEY REACH ONE-HALF THE FENCE HEIGHT.

FOR SINGLE LOT EROSION CONTROL SEE SHEET STM8

SILT FENCE EROSION BARRIER

FIRESTONE COLORADO | STORM SEWER CONSTRUCTION DRAWINGS | BY: JME | SCALE: NTS | DATE: 1/2020 | DRAWING: STM4

A6 SILT FENCE
NTS | SN:

QUIKTRIP	
EROSION CONTROL DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	EROSION CONTROL DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 25 OF 37	

PROJECT NO.: QKT004202

Galloway
5142 S. Ridge Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
Galloway.us.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER MUNICIPAL COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE: EROSION CONTROL DETAILS

SHEET NUMBER: C501

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CAD\2 Plan\B3-4202 DETAILS MISC SITE-.dwg TAB NAME: C501-Erosion Control Details USER: Trevan_Edwards SAVED: 2/9/2021 PLOTTED: 2/12/2021 4:44 PM

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

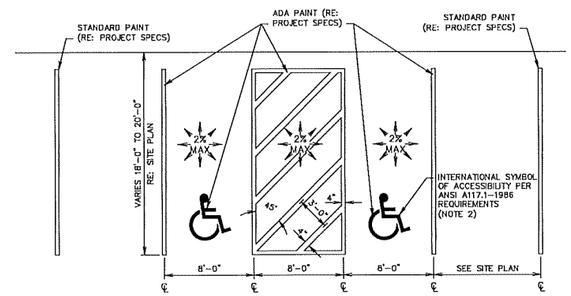
TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 26 OF 37

1. RE: SITE PLAN FOR LOCATION OF ADA PARKING SPACES AND ACCESS AISLE IN RELATIONSHIP TO THE DOOR LOCATION. (THIS DETAIL IS FOR STRIPING LAYOUT ONLY)

2. PARKING STRIPES AND THE ADA INTERNATIONAL HANDICAP SYMBOL ARE TO BE PAINTED PER THE MANUFACTURER'S RECOMMENDATIONS. (RE: PROJECT SPECS)

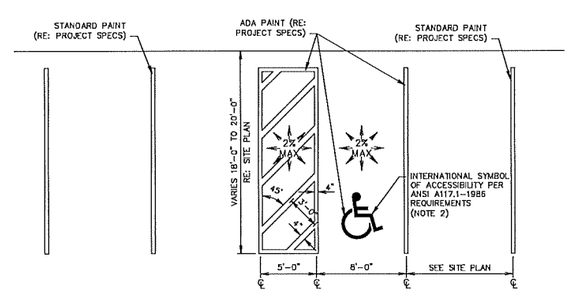


K1 | DOUBLE STALL ADA PARKING STRIPING DETAIL

NTS | SN: AD001A008

1. RE: SITE PLAN FOR LOCATION OF ADA PARKING SPACES AND ACCESS AISLE IN RELATIONSHIP TO THE DOOR LOCATION. (THIS DETAIL IS FOR STRIPING LAYOUT ONLY)

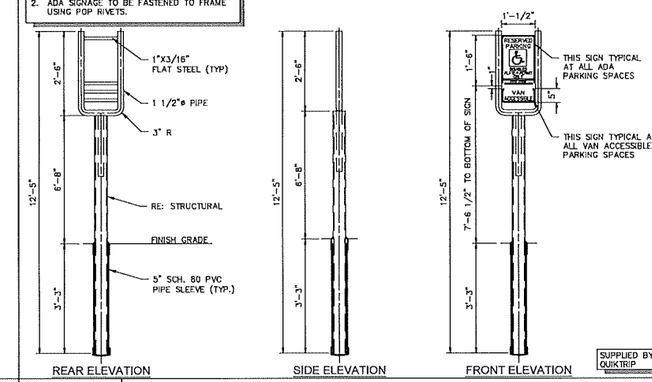
2. PARKING STRIPES AND THE ADA INTERNATIONAL HANDICAP SYMBOL ARE TO BE PAINTED PER THE MANUFACTURER'S RECOMMENDATIONS. (RE: PROJECT SPECS)



K6 | SINGLE STALL ADA PARKING STRIPING DETAIL

NTS | SN: AD002A008

1. RE: SITE PLAN FOR DETERMINING LOCATION.
2. ADA SIGNAGE TO BE FASTENED TO FRAME USING POP RIVETS.



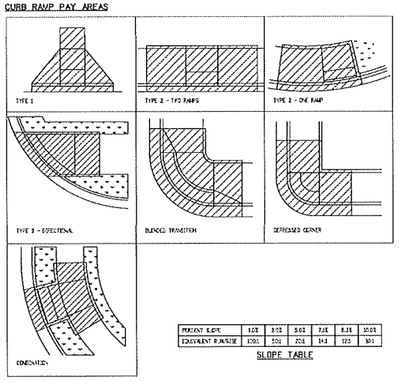
K11 | ADA SIGN IN BOLLARD

NTS | SN: AD003C009

CURB RAMP GENERAL NOTES:

1. IN NEW CONSTRUCTION OR FULL-DEPTH RECONSTRUCTION, PROVIDE A SEPARATE CURB RAMP FOR EACH MARKED OR UNMARKED PEDESTRIAN STREET CROSSING. CURB RAMPS SHALL BE CONTAINED WHOLLY WITHIN THE WIDTH OF THE PEDESTRIAN STREET CROSSING OR CROSSWALK THEY SERVE, OR AS SHOWN ON THE CONTRACT PLANS.
2. ALTERATIONS ARE DEFINED AS CHANGES TO AN EXISTING HIGHWAY THAT AFFECT PEDESTRIAN ACCESS, CIRCULATION, OR USE. ALTERATIONS INCLUDE, BUT ARE NOT LIMITED TO, RESURFACING, REHABILITATION, RECONSTRUCTION, CURB RAMP RETROFITS, HISTORIC RESTORATION, OR CHANGES OR REARRANGEMENT TO STRUCTURAL PARTS OR ELEMENTS OF A PEDESTRIAN FACILITY.
3. A WALKABLE SURFACE IS DEFINED AS A PAVED SURFACE ADJACENT TO A CURB RAMP OR TURNING SPACE, WITHOUT RAISED OBSTACLES, THAT COULD BE MISTAKENLY PERCEIVED BY A USER WHO IS VISUALLY IMPAIRED.
4. IN ALTERATIONS, WHERE AN EXISTING PHYSICAL CONSTRAINT PREVENTS PROVIDING A SEPARATE CURB RAMP FOR EACH PEDESTRIAN STREET CROSSING, A SINGLE EXISTING RAMP ON THE PATH SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. THE USE OF A SINGLE EXISTING RAMP SHALL BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. SINGLE RAMPS ARE NOT ACCEPTABLE IN NEW CONSTRUCTION OR FULL-DEPTH RECONSTRUCTION.
5. DETECTABLE WARNING SURFACES WHICH ARE INTENDED TO INDICATE THE ROADWAY BEYOND A PEDESTRIAN ROUTE, AND VEHICULAR ROUTE WHERE THERE IS A FLUSH RAMP FROM CURBED CONDITION, ONLY ARE NOT INTENDED TO PROVIDE WARNING. EVS SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:
   1. CURB RAMPS, BLENDED TRANSITIONS, AND DEPRESSED CORNERS AT PEDESTRIAN STREET CROSSINGS;
   2. PEDESTRIAN REFUGE ISLANDS OR FEET 24 INCHES OR GREATER;
   3. BOARDING PLATFORMS AT TRANSIT STOPS WHERE THE EDGE OF THE PLATFORM IS NOT PROTECTED TO PEDESTRIAN CROSS TRAFFIC; AND
   4. DRIVING AREAS AT SIDEWALK OR STREET LEVEL TRANSIT STOPS WHERE THE AREA IS NOT PROTECTED TO PEDESTRIAN CROSS TRAFFIC.
6. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH THE ADJACENT GUTTER, HIGHWAY, OR PEDESTRIAN ACCESS ROUTE SURFACE, EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT. FEDERAL YELLOW COLOR IS PREFERRED, HOWEVER, OTHER COLORS MAY BE USED IF APPROVED BY THE ENGINEER.
7. IN ALTERATIONS, TO AVOID CHANGING GRADE PROGRESSIVELY ON STEEP HIGHWAYS, A CURB RAMP'S LENGTH IS NOT REQUIRED TO EXTEND 15 FEET BEYOND LEVEL OF THE PEDESTRIAN RAMP RUNNING SLOPE.
8. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE.
9. DRAINAGE STRUCTURES, TRAFFIC SIGNAL EQUIPMENT, OR OTHER OBSTRUCTIONS SHALL NOT BE INSTALLED ON THE CURB RAMP, OR TURNING SPACE AREAS.
10. IN NEW CONSTRUCTION, PULL BOXES, METER BOXES, MAINTENANCE HOLE COVERS, VALVE LIDS, OR SIMILAR, SHALL NOT BE CONSTRUCTED WITHIN ANY PART OF CURB RAMP OR TURNING SPACE. IN ALTERATIONS, WHERE THESE ITEMS CANNOT BE RELOCATED OUTSIDE OF THE CURB RAMP OR TURNING SPACE, THEY MUST NOT CREATE A VERTICAL DISCONTINUITY GREATER THAN 1/2 INCH. ANY VERTICAL DISCONTINUITY BETWEEN 1/4 INCH AND 1/2 INCH SHALL BE BEVELED WITH A SLOPE NOT STEEPER THAN 1:2(50%). THE BEVEL SHALL BE APPLIED ACROSS THE ENTIRE SURFACE DISCONTINUITY.
11. CONSTRUCTION OF ANY REQUIRED PEDESTRIAN CURB RAMP SHALL BE INCLUDED IN THE BID PRICE OF THE CONCRETE CURB RAMP AND WILL NOT BE PAID FOR SEPARATELY.
12. ALL CURB RAMP JOINTS AND GRADE BREAKS SHALL BE FLUSH (0-1/4"). THE JOINT BETWEEN THE ROADWAY SURFACE AND THE GUTTER PAN SHALL BE FLUSH.
13. THE CONTRACTOR SHALL VERIFY FINISHED LIMITS ARE SUFFICIENT TO PROVIDE POSITIVE DRAINAGE, MAINTAIN EXISTING DRAINAGE PATTERNS, AND AVOID PONDING IN THE FINAL CONFIGURATION.
14. FLARED SIDE SLOPES MAY EXCEED 10:1(10%) ONLY WHERE THEY ABUT A NON-WALKABLE SURFACE, OR WHERE THE ADJACENT RAMP SURFACE IS BLOCKED TO PEDESTRIAN TRAFFIC.
15. THE CHANGE IN GRADE AT THE BOTTOM OF THE CURB RAMP SHALL NOT EXCEED AN ALGEBRAIC DIFFERENCE OF 11.3(13.5% COUNTER SLOPE OF THE GUTTER IN THE FLOW OF WALKS, RAMPS, SPACES, OR BLENDED TRANSITION SHALL NOT EXCEED 5%.
16. GRADE BREAKS AT THE TOP AND BOTTOM OF RAMP RUNS SHALL BE PERPENDICULAR TO THE DIRECTION OF THE RAMP RUN. GRADE BREAKS SHALL NOT BE PERMITTED ON THE SURFACE OF THE RAMP RUN OR TURNING SPACE. SURFACE SLOPES RAMP MUST AT GRADE BREAKS SHALL BE FLUSH.
17. A DIRECTION REVERSAL WITH SLOPES PERPENDICULAR TO THE DIRECTION OF PEDESTRIAN TRAFFIC, SHALL BE APPLIED TO ALL RAMP AND RUNNING SPACE SURFACES.
18. IN ALTERATIONS, WHERE A RAMP OR RUNNING SPACE MEETS THE GRADE AND EXISTING GRADE THAT CANNOT BE ALTERED, THE RAMP OR TURNING SPACE MAY BE WAIVED TO TRANSITION TO THE REQUIRED CROSS SLOPE. THE TRANSITION TO THE REQUIRED CROSS SLOPE SHALL BE SPREAD EVENLY OVER THE LENGTH OF THE RAMP OR TURNING SPACE TO MINIMIZE THE DEGREE OF WARPING. THE RATE OF CHANGE ON A RAMP OR TURNING SPACE SHALL NOT EXCEED 3% PER ENGINE FEET.
19. DESIGN AND CONSTRUCT CURB RAMPS, TURNING SPACES, AND FLARE SLOPES WITH THE FLATTEST SLOPES POSSIBLE. THE SLOPES INDICATED IN THESE DETAILS SHOW THE MAXIMUM SLOPES ALLOWABLE. PREFERRED VALUES TO BE USED DURING DESIGN, LAYOUT, AND CONSTRUCTION ARE:
   - RAMP RUNNING SLOPE 7%
   - RAMP CROSS SLOPE 1.5%
   - TURNING SPACE RUNNING SLOPE 1.5%
   - TURNING SPACE CROSS SLOPE 1.5%
   - FLARE SLOPE 10:1 (10%)
20. WHERE SNOW REMOVAL EQUIPMENT WILL BE USED TO CLEAR THE PEDESTRIAN ACCESS ROUTE, CONSULT THE ENGINEER PRIOR TO CONSTRUCTION TO ENSURE THE WIDTH AND THICKNESS OF CURB RAMPS IS SUFFICIENT TO ACCOMMODATE SNOW EQUIPMENT.
21. PROVIDE EXPANSION JOINT MATERIAL 1/2" THICK WHERE CURB RAMPS ADJOIN ANY FIXED PAVEMENT OR STRUCTURE. THE TOP OF THE JOINT FILLER MATERIAL SHALL BE FLUSH WITH ADJOINING CONCRETE SURFACES. THE EXPANSION JOINT MATERIAL SHALL EXTEND FROM THE FULL DEPTH OF THE CONCRETE SURFACE.
22. PROVIDE THE BAR REINFORCING BETWEEN INTERNALLY FORCED CONCRETE CURB RAMPS OR TURNING SPACES AND CURB AND GUTTER, DRILL AND GROUT NO. 4 X 12 INCH LONG REINFORCEMENT BARS (FROM GUTTER) AT 18 INCHES CENTER TO CENTER MINIMUM.

CURB RAMP PAY AREAS



PERCENT SLOPE	8.0%	8.3%	8.4%	7.1%	8.3%	10.0%
EQUIVALENT RUNS/RISE	12.5:1	12.0:1	11.9:1	14.0	12.0	10.0

SLOPE TABLE

GENERAL NOTES & PAY AREAS

Computer File Information	
Creation Date: 07/31/19	
Designer Initials: JBK	(R.S.)
Last Modification Date: 07/31/19	(R.S.)
Detailer Initials: LTA	(R.S.)
CAD Year Manufacturer V8 - Space Metric Scale - Units: English	(R.S.)

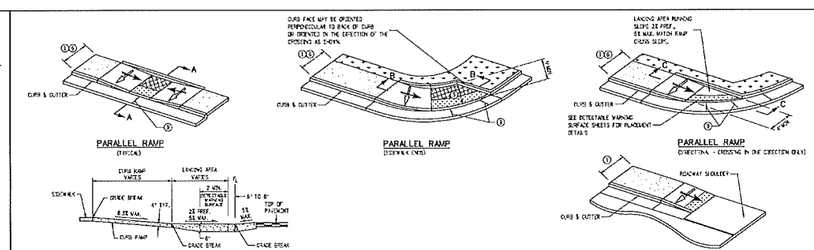
Sheet Revisions	
Date:	Comments:

Colorado Department of Transportation
2829 West Howard Place
2ND FLOOR, 3rd Floor
Denver, CO 80204
Phone: 303-757-9231 FAX: 303-757-9868
Project Development Branch JBK

CURB RAMPS

Issued by the Project Development Branch: July 31, 2019

STANDARD PLAN NO.
M-608-1
Standard Sheet No. 1 of 10
Project Sheet Numbers



TYPE 2 PARALLEL CURB RAMPS

PARALLEL RAMP NOTES

1. RAMP WIDTH - PROVIDE A RAMP WIDTH EQUAL TO THE ADJOINING SIDEWALK, PROVIDE 4 FT. WIDTH MINIMUM. RAMPS SERVICING SHARED USE PATHS SHALL MATCH THE WIDTH OF THE PATH.
2. RAMP RUNNING SLOPE - 8.33 MAX.
3. RAMP CROSS SLOPE - 2.0% MAX.
4. TURNING SPACE RUNNING SLOPE - 2.0% MAX. TURNING SPACE RUNNING SLOPE IS MEASURED PERPENDICULAR TO THE BACK OF CURB.
5. TURNING SPACE CROSS SLOPE - 2.0% TYPICAL. AT CROSSINGS WITHOUT YIELD OR STOP CONTROL, ON A PLAN WHERE VEHICLES CAN PROCEED THROUGH THE INTERSECTION WITHOUT SLOWING OR STOPPING, THE CROSS SLOPE OF THE TURNING SPACE MAY EQUAL THE ROADWAY GRADE. AT ACCESSIBLE PEDESTRIAN STREET CROSSINGS, THE TURNING SPACE CROSS SLOPE MAY EQUAL THE ROADWAY GRADE. TURNING SPACE CROSS SLOPE IS MEASURED IN THE DIRECTION OF THE RAMP RUN.
6. TURNING SPACE DIMENSIONS - PROVIDE A TURNING SPACE AT THE BOTTOM OF PARALLEL RAMPS WITH A WIDTH EQUAL TO THE WIDTH OF THE CURB RAMP. PROVIDE 4 FT. MINIMUM, MEASURED IN THE DIRECTION OF THE RAMP RUN. IF THE TURNING SPACE IS CONTAINED ON TWO SIDES, PROVIDE 5 FT. MEASURED IN THE DIRECTION OF PEDESTRIAN STREET CROSSING. THE TURNING SPACE MAY CONTAIN THE DETECTABLE WARNING SURFACE.
7. RAMP ALIGNMENT - RAMPS SHALL BE ALIGNED SO THE TURNING SPACE IS FULLY CONTAINED WITHIN THE CROSSWALK BY STREET CROSSING THEY SERVE. PROVIDE ONE RAMP PER EACH STREET CROSSING DIRECTION. IN ALTERATIONS, WHERE EXISTING PHYSICAL CONSTRAINTS PREVENT PROVIDING ONE CURB RAMP PER EACH CROSSING DIRECTION, A SINGLE EXISTING CURB RAMP ON THE APEX OF A CORNER SHALL BE PERMITTED TO SERVE BOTH PEDESTRIAN STREET CROSSINGS. SINGLE RAMPS ARE NOT ACCEPTABLE IN NEW CONSTRUCTION OR FULL-DEPTH RECONSTRUCTION.
8. RAMP LENGTH - PARALLEL RAMP LENGTH IS DEPENDENT UPON THE RAMP SLOPE AND THE CHANGE OF ELEVATION FROM THE TURNING SPACE TO THE SIDEWALK. WHERE TERRAIN IS STEEPER, A RAMP IS NOT REQUIRED TO EXCEED SPACE MORE THAN 15 FT. REGARDLESS OF THE PRESCRIBED RAMP SLOPE.
9. GUTTER COUNTER SLOPE - 5.0% MAX.

Computer File Information	
Creation Date: 07/31/19	
Designer Initials: JBK	(R.S.)
Last Modification Date: 07/31/19	(R.S.)
Detailer Initials: LTA	(R.S.)
CAD Year Manufacturer V8 - Space Metric Scale - Units: English	(R.S.)

Sheet Revisions	
Date:	Comments:

Colorado Department of Transportation
2829 West Howard Place
2ND FLOOR, 3rd Floor
Denver, CO 80204
Phone: 303-757-9231 FAX: 303-757-9868
Project Development Branch JBK

CURB RAMPS

Issued by the Project Development Branch: July 31, 2019

STANDARD PLAN NO.
M-608-1
Standard Sheet No. 4 of 10
Project Sheet Numbers

A1 | FIRESTONE HANDICAPPED RAMP DETAILS

NTS

QUIKTRIP	
ADA DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	ADA DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 26 OF 37

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
Galloway.us.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE: ADA DETAILS

SHEET NUMBER: C510

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CAD\2 Plan\C3-4202 DETAILS ADA.dwg TAB NAME: C510-ADA Details USER: Trevon_Edwards SAVED: 2/9/2021 9:51 AM PLOTTED: 2/12/2021 4:45 PM

FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

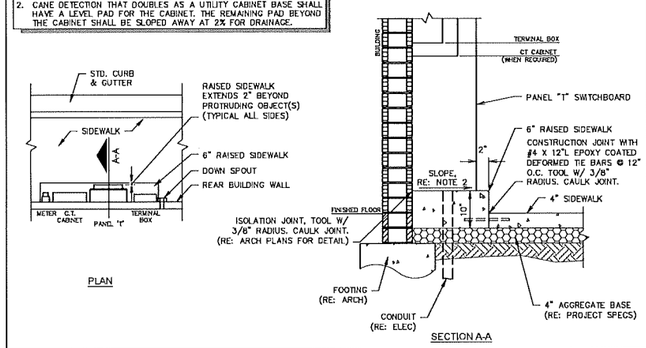
SHEET 27 OF 37

L1 NOT USED

NTS | SN:

NOTES:
1. 6" RAISED SIDEWALK IS REQUIRED WHEN AN OBJECT WHICH PROTRUDES MORE THAN 4" HAS LEADING EDGES MORE THAN 27" AND NOT MORE THAN 80" ABOVE THE WALKING SURFACE.
2. CANE DETECTION THAT DOUBLES AS A UTILITY CABINET BASE SHALL HAVE A LEVEL PAD FOR THE CABINET. THE REMAINING PAD BEYOND THE CABINET SHALL BE SLOPED AWAY AT 2% FOR DRAINAGE.

RE: GEOTECHNICAL REPORT FOR APPROVED METHOD OF SUBGRADE PREPARATION

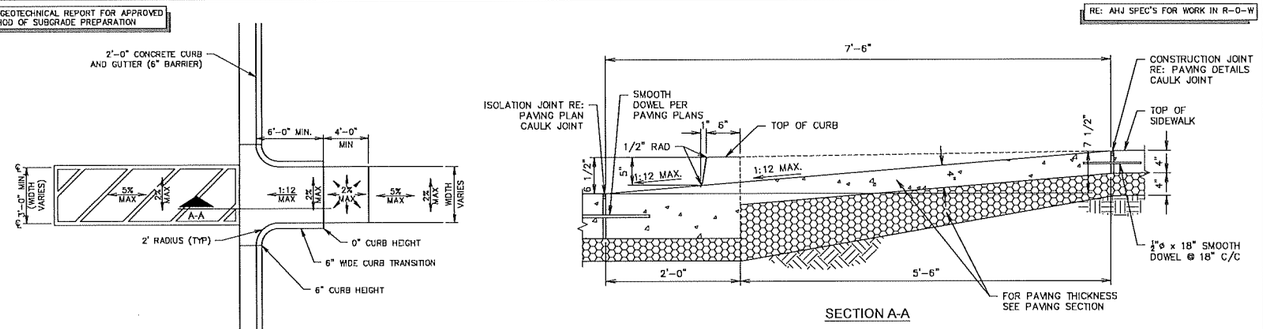


L11 CANE DETECTION FOR PROTRUDING OBJECTS

NTS | SN: AD014A004

RE: GEOTECHNICAL REPORT FOR APPROVED METHOD OF SUBGRADE PREPARATION

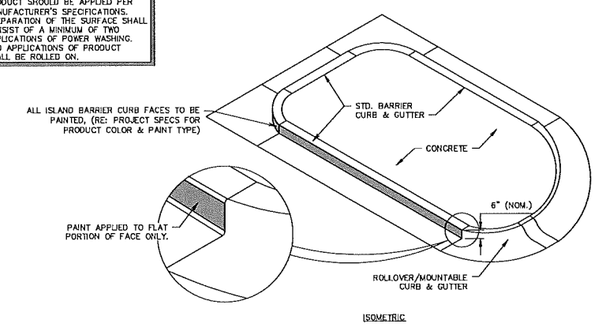
RE: AHJ SPEC'S FOR WORK IN R-O-W



F1 PARKING LOT CURB RAMP @ ADA CROSSING

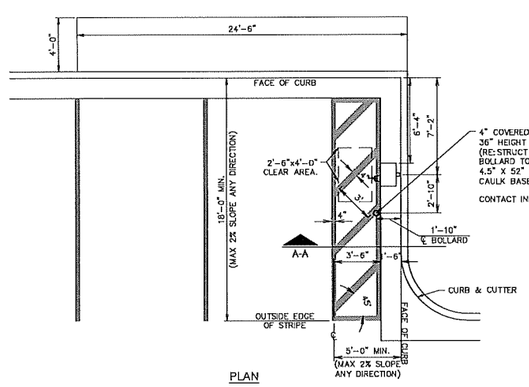
NTS | SN AD012A006

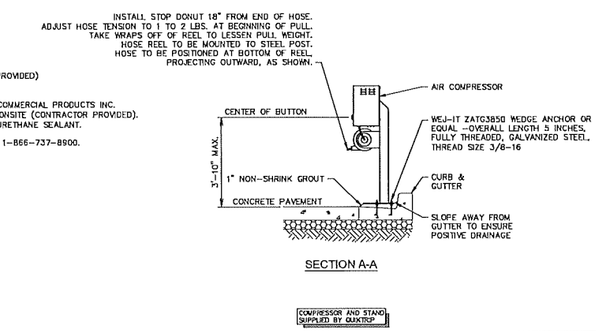
1. REQUIRED FOR ALL PRIVATE PROPERTY INTERIOR LOCATIONS.
2. RE: PROJECT SPECS FOR PRODUCT COLOR & TYPE.
3. PRODUCT SHOULD BE APPLIED PER MANUFACTURER'S SPECIFICATIONS.
4. PREPARATION OF THE SURFACE SHALL CONSIST OF A MINIMUM OF TWO APPLICATIONS OF POWER WASHING.
5. TWO APPLICATIONS OF PRODUCT SHALL BE ROLLED ON.



F11 ISLAND - BARRIER CURB PAINTING DETAIL (NON-LANDSCAPED)

NTS | SN AD016A001





A1 AIR SERVICE INSTALL PLAN (RIGHT HAND INSTALL)

NTS | SN AD003A014

QUIKTRIP	
ADA DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	ADA DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 27 OF 37	

PROJECT NO.: QKT004202

Galloway

8120 S. Willow Drive Suite 320
Greenwood Village CO 80111
303.770.8884
Galloway.us.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
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DESIGNED BY: TJE
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REV	DATE	DESCRIPTION
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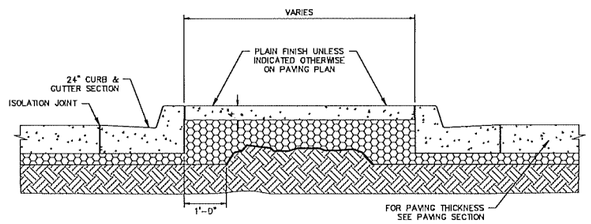
ORIGINAL ISSUE DATE:

SHEET TITLE: ADA DETAILS

SHEET NUMBER: C511

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\BS-4202 DETAILS ADA--.dwg TAB NAME: C511-ADA Details USER: Trevan_Edwards SAVED: 2/9/2021 9:51 AM PLOTTED: 2/12/2021 4:45 PM

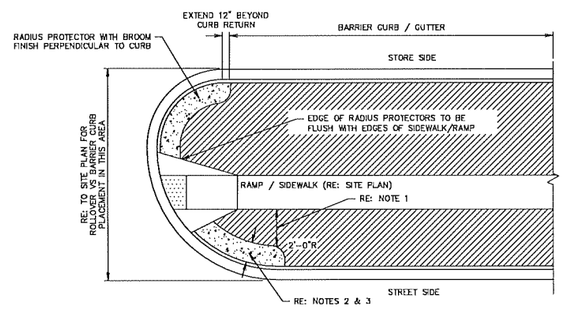
RE: GEOTECHNICAL REPORT FOR APPROVED METHOD OF SUBGRADE PREPARATION



L1 ISLAND SECTION B-B-PAVED ISLAND

NTS | SN: P0024A009

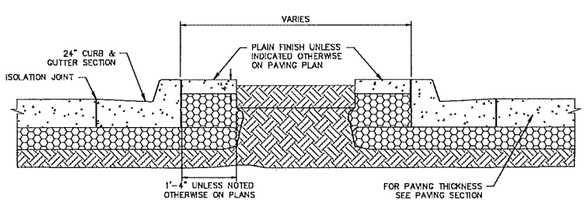
1. IF DISTANCE TO SIDEWALK IS LESS THAN 2', PLACE PROTECTOR TO SIDEWALK.
2. TOOLED CONTRACTION JOINTS TO BE ADDED @ 5' C/C (MAX.), MATCH CURB JOINTS WHEN POSSIBLE.
3. 5' ON EXTERIOR DRIVES, 3' ON INTERIOR.



F1 RADIUS PROTECTOR PLAN

NTS | SN: P0018A006

RE: GEOTECHNICAL REPORT FOR APPROVED METHOD OF SUBGRADE PREPARATION



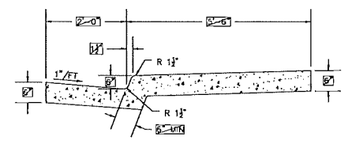
A1 ISLAND SECTION A-A-LANDSCAPED ISLAND

NTS | SN: P0024B009

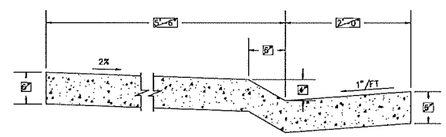
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 28 OF 37



VERTICAL



ROLLOVER

NOTES:

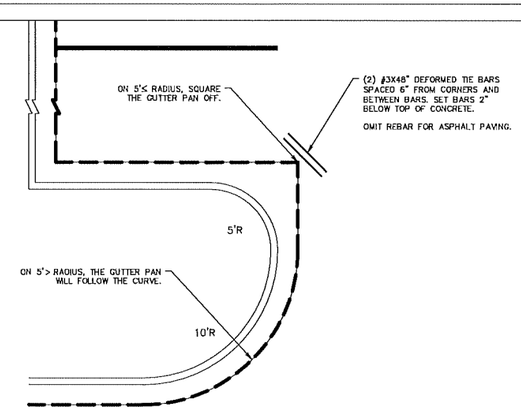
1. EXPANSION JOINT MATERIAL SHALL BE NON-EXTRUDING AND RESILIENT TYPE TO MEET AASHO SPEC. M-213.
2. ANY OVER-EXCAVATION SHALL BE REPLACED BY GRANULAR BACKFILL COMPACTED TO 95% MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-698.
3. SEE DETAILS ON DRAWING SW1 FOR EXPANSION AND CONTRACTION JOINT DETAILS.
4. FOR USE IN RESIDENTIAL AREAS OR RESIDENTIAL COLLECTORS ONLY.

MONOLITHIC INTEGRAL CURBWALK

FIRESTONE COLORADO	CURB, GUTTER AND SIDEWALK CONSTRUCTION DRAWINGS	BY: JME / SCALE: NTS / DATE: 1/2020	DRAWING: SW2

F6 CURB, GUTTER AND SIDEWALK DETAIL

NTS

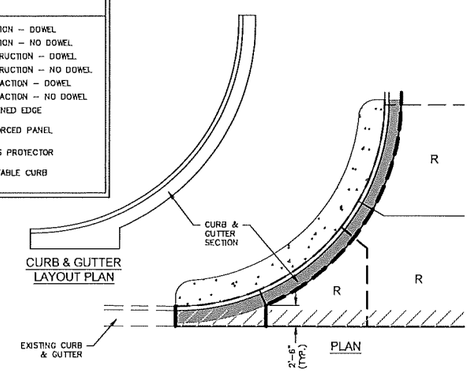


A6 GUTTER PAN RADIUS DETAIL

NTS | SN: P0070A003

PAVING LEGEND

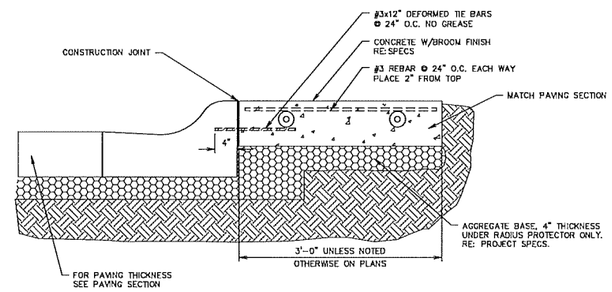
- ISOLATION – DOWEL
- ISOLATION – NO DOWEL
- CONSTRUCTION – DOWEL
- CONSTRUCTION – NO DOWEL
- CONTRACTION – DOWEL
- CONTRACTION – NO DOWEL
- THICKENED EDGE
- R — REINFORCED PANEL
- RADIUS PROTECTOR
- MOUNTABLE CURB



L11 CURB DETAIL - DRIVE ENTRANCE

NTS | SN: P0043A004

RE: GEOTECHNICAL REPORT FOR APPROVED METHOD OF SUBGRADE PREPARATION



F11 STANDARD RADIUS PROTECTOR SECTION

NTS | SN: P0017A012

QUIKTRIP PAVING DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	PAVING DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 28 OF 37

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
Galloway.us.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	9/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE: PAVING DETAILS

SHEET NUMBER: C520

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\B3-4202 DETAILS PAVING-.dwg TAB NAME:C520-Paving Details USER:Steven.Edwards SAVED:2/9/2021 9:53 AM PLOTTED:2/12/2021 4:48 PM

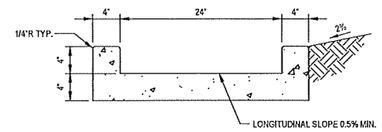
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

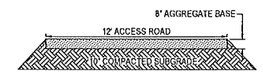
STATE OF COLORADO

SHEET 29 OF 37



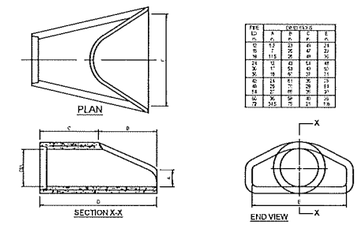
L1 — CONCRETE TRICKLE CHANNEL

NTS



L6 — 12-FOOT MAINTENANCE ACCESS

NTS



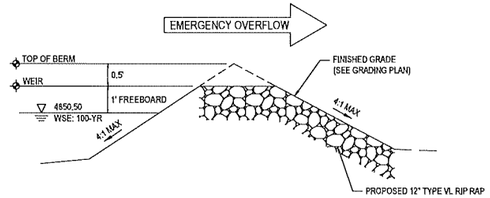
PIPE ID	DIMENSIONS			
	A	B	C	D
12"	9"	9"	7"	7"
15"	12"	12"	9"	9"
18"	15"	15"	12"	12"
24"	21"	21"	18"	18"
30"	27"	27"	24"	24"
36"	33"	33"	30"	30"
42"	39"	39"	36"	36"
48"	45"	45"	42"	42"
54"	51"	51"	48"	48"
60"	57"	57"	54"	54"
66"	63"	63"	60"	60"
72"	69"	69"	66"	66"

GENERAL NOTES

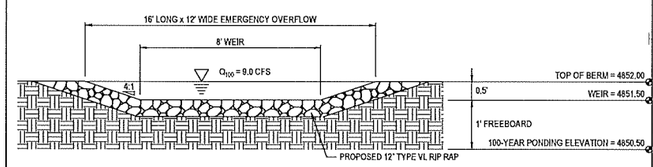
1. ALL PIPE SHALL BE CONNECTED TO FLOWLINE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS AND THE APPROVED PLANS FOR THE PROJECT.
2. CONCRETE END SECTIONS ARE TO BE PURCHASED WITH FLOWLINE WITH SKEW AS REQUIRED.
3. ALTERNATE BASED ON DESIGN FOR CONCRETE END SECTIONS MAY BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL. DESIGN ENGINEER MAY ONLY BE ASSIGNED WITH APPROVAL OF THE SECTION OF AN INSTALLED MATERIAL PROPOSED AND FOR WHICH THE DESIGN ENGINEER OF THE CONCRETE SHALL BE PURCHASED IS AT THE EXPENSE OF THE CONTRACTOR.
4. OTHER REQUIRED CONCRETE PIPE AND END SECTIONS SHALL BE AVAILABLE UPON REQUEST. IN THE EVENT THE DESIGN ENGINEER SHALL CONTACT THE MANUFACTURER TO ALLOW FOR SUCH OTHER MATERIALS THEN, IN THE EVENT THE ENGINEER DOES NOT CONSIDER AN ALTERNATIVE OF EQUAL QUALITY, THE DECISION OF THE ENGINEER SHALL BE FINAL.
5. CONCRETE PIPE AND END SECTIONS WHERE SHOWN ON PLANS SHALL BE INSTALLED SO THAT A MINIMUM OF 18 LINEAR FEET OF THE OUTLET PIPE AND END SECTION WILL BE MORTARED TOGETHER. DUE TO SITE CONDITIONS, ONLY THE PIPE REQUIRED BY THE ENGINEER.

L11 — FES

NTS



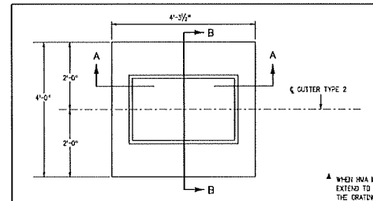
EMERGENCY OVERFLOW WEIR SECTION



EMERGENCY OVERFLOW WEIR SECTION

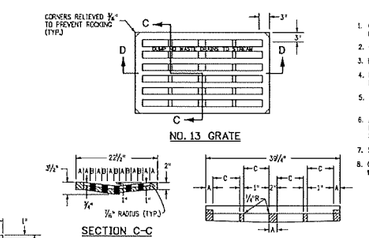
E11 — OVERFLOW WEIR

NTS



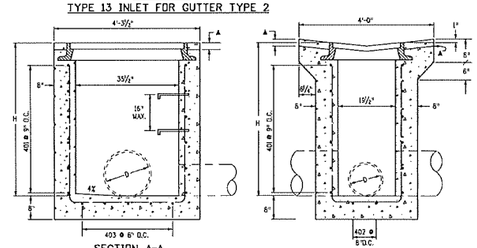
PLAN VIEW
TYPE 13 INLET FOR GUTTER TYPE 2

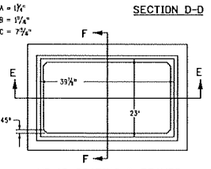
▲ WHEN HMA MATERIAL IS TO EXTEND TO THE EDGE OF THE GRATING FRAME, CONCRETE MAY BE DEPRESSED.



GENERAL NOTES

1. CONCRETE SHALL BE CLASS B. INLET MAY BE CAST-IN-PLACE OR PRECAST.
2. CAST-IN-PLACE CONCRETE WALLS SHALL BE FORMED ON BOTH SIDES.
3. EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED ¾ IN.
4. REINFORCING BARS SHALL BE DEFORMED #4 AND SHALL HAVE A 2 IN. MINIMUM CLEARANCE. ALL REINFORCING BARS SHALL BE EPOXY COATED.
5. STEPS SHALL BE PROVIDED WHEN INLET DIMENSION "H" IS EQUAL TO OR GREATER THAN 3 FT.-6 IN. AND SHALL CONFORM TO AASHTO M 199.
6. ALL GRATES AND FRAMES SHALL BE GRAY OR DUCTILE CAST IRON IN ACCORDANCE WITH SUBSECTION 713.06. GRATES AND FRAMES SHALL BE DESIGNED TO WITHSTAND HS 20 LOADING.
7. STATION POINT IS AT THE CENTER OF THE INLET.
8. GRATE SHALL HAVE "DUMP NO WASTE GRADIS TO STREAM" MESSAGE CAST ON SURFACE.

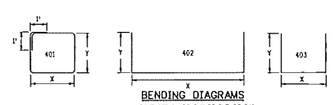




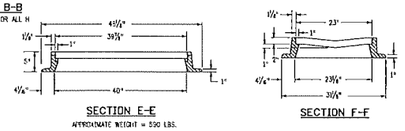
H	CONCRETE CU. YDS.	REINFORCING STEEL @ LB.	NO. OF 401 BARS REQ'D.	MAXIMUM PIPE I.D. SEC. A-A IN.	SEC. B-B IN.
3'-0"	1.3	72	4	18	15
3'-6"	1.5	78	4	24	18
4'-0"	1.6	93	5	30	18
4'-6"	1.8	104	6	30	15
5'-0"	1.9	109	6	30	15
5'-6"	2.1	122	7	30	18
6'-0"	2.2	136	8	30	15
6'-6"	2.4	141	8	30	15
7'-0"	2.5	154	9	30	15
7'-6"	2.7	168	10	30	18
8'-0"	2.8	173	10	30	18
8'-6"	3.0	187	11	30	18
9'-0"	3.1	202	12	30	18
9'-6"	3.3	205	12	30	18
10'-0"	3.4	219	13	30	18

① INCLUDES 1% FOR OVERRUN.
NOTE: CONCRETE QUANTITIES INCLUDE VOLUME OCCUPIED BY PIPE.

QUANTITIES FOR ONE INLET



BENDING DIAGRAMS
ALL DIMENSIONS ARE OUT-TO-OUT OF BAR.



MARK	NO. REQ'D.	DIMENSIONS X	Y	LENGTH
401	4	3'-6"	2'-2"	13'-4"
402	2	3'-4½"	* 2'-4½"	8'-9½"
403	5	2'-7½"	* 2'-2"	7'-2½"

* ADD 6 IN. TO THIS DIMENSION FOR EACH 6 IN. INCREASE OF "H" OVER 3 FT.-0 IN.

BAR LIST FOR H = 3 FT.-0 IN.

Computer File Information	
Creation Date: 07/04/12	Initials: DO
Last Modification Date: 07/04/12	Initials: LTA
Full Path: www.coloradodot.info/business/designsupport	
Drawing File Name: 6040130101.dgn	
CAD Ver: MicroStation V8 Scale: Not to Scale Units: English	

Sheet Revisions	
Date:	Comments

Colorado Department of Transportation
4201 East Arkansas Avenue
Denver, Colorado 80222
Phone: (303) 757-9083
Fax: (303) 757-9820
Project Development Branch DD/LTA

CONCRETE INLET TYPE 13

Issued By: Project Development Branch July 4, 2012

STANDARD PLAN NO.
M-604-13
Sheet No. 1 of 1

A1 — CATCH BASIN INLET DETAIL

NTS

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
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QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
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4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

QUIKTRIP

DRAINAGE DETAILS

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	DRAINAGE DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 29 OF 37

SHEET TITLE:
DRAINAGE DETAILS

SHEET NUMBER:
C540

FILE LOCATION: H:\Quikrip\QKT004202-Firestone, CO\CADD\2 Plan\03-4202 DETAILS DRAINAGE.dwg TAB NAME: Drainage Detail Sheet 1 USER: Trevon_Edwards SAVED: 2/9/2021 9:55 AM PLOTTED: 2/12/2021 4:47 PM

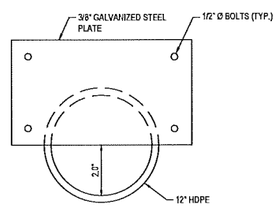
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

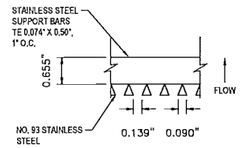
TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 30 OF 37

L1	NOT USED
NTS	

L6	NOT USED
NTS	

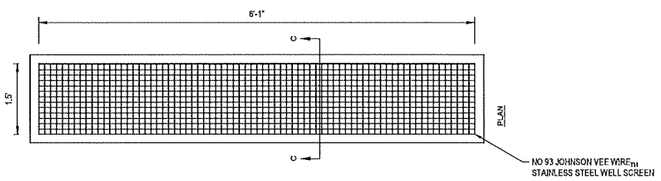


RESTRICTOR PLATE (PRIVATE)
NOT TO SCALE

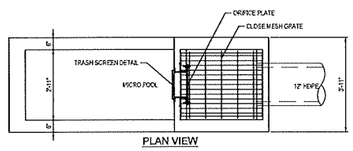


R VALUE = (NET OPEN AREA)/(GROSS RACK AREA) = 0.60

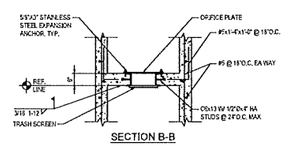
SECTION C-C



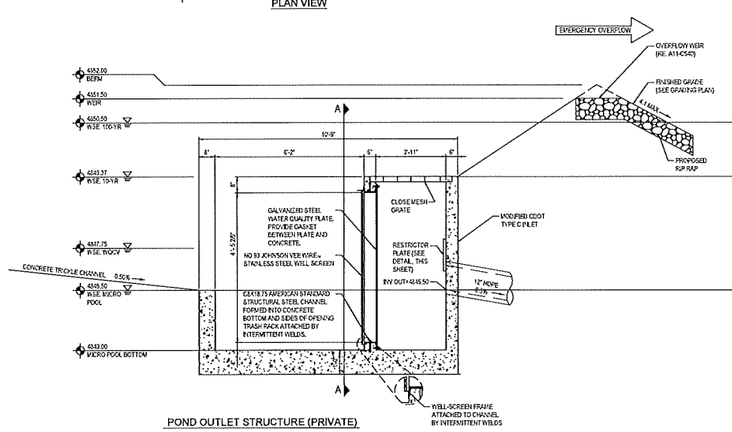
TRASH SCREEN (PRIVATE)
NOT TO SCALE



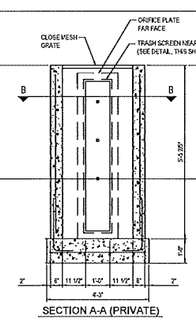
PLAN VIEW



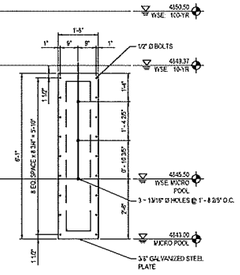
SECTION B-B



POND OUTLET STRUCTURE (PRIVATE)

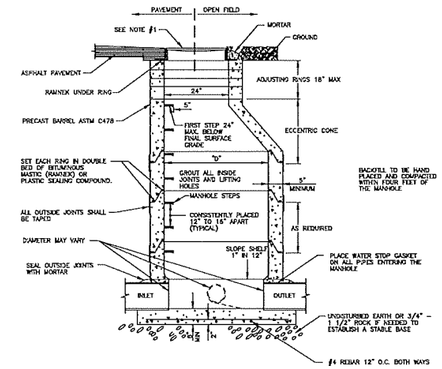


SECTION A-A (PRIVATE)



POND WATER QUALITY PLATE (PRIVATE)

A1	OUTLET STURCTURE
NTS	



SECTION

NOTES:

1. FINAL GRADE OF MANHOLE COVERS SHALL BE 1/4" LOWER THAN FINAL STREET.
2. NO STEPS ALLOWED IN THE ADJUSTING RING AREA.
3. PRECAST CONCRETE SECTIONS SHALL CONFORM TO ASTM C-478.
4. BLOCK-OUTS, WHEN APPROVED, SHALL EXTEND A MAX. OF 6" PAST MANHOLE O.D. AND BE SATISFACTORILY PLUGGED AND SEALED.
5. MANHOLES NOT IN ASPHALT OR CONCRETE SHALL BE RAISED 6" ABOVE FINAL GRADE AND A CONCRETE COLLAR INSTALLED WITH A GREEN CARSONITE POST

STANDARD MANHOLE

FIRESTONE COLORADO	STORM SEWER CONSTRUCTION DRAWINGS	BY: JME SCALE: NTS DATE: 1/2020	DRAWING: STM8A

F11	STORM DRAIN MANHOLE
NTS	

QUIKTRIP

DRAINAGE DETAILS

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	DRAINAGE DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 30 OF 37

PROJECT NO.: QKT004202

Galloway
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QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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ORIGINAL ISSUE DATE:

SHEET TITLE:
DRAINAGE DETAILS

SHEET NUMBER:
C541

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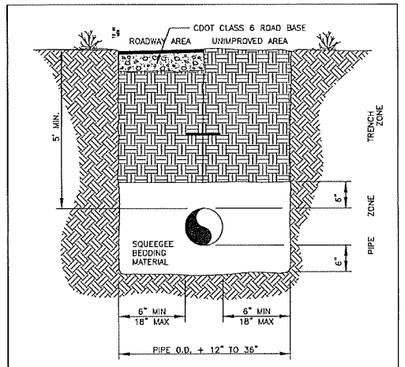
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 31 OF 37

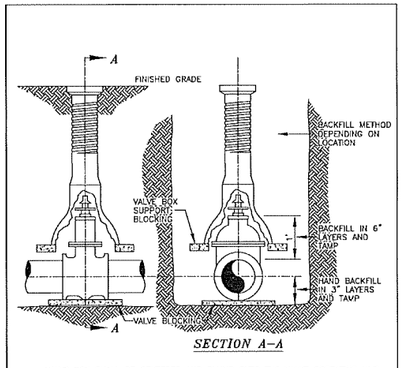


1. TRENCH ZONE BACKFILL MATERIAL IN ROADWAY AREAS SHALL BE CDOT CLASS 6 ROADBASE OR APPROVED ALTERNATIVE (95% MIN COMPACTION)
2. TRENCH ZONE BACKFILL WITH ACCEPTABLE ON SITE MATERIAL IN UNIMPROVED AREAS (90% MIN COMPACTION)
3. FILTER FABRIC OR SEDONA SAND SHALL BE USED TO PROVIDE BEDDING ADVANTAGE
4. INSTALL WARNING TAPE AT 18" ABOVE PIPE
5. ASPHALT SHALL BE SAW CUT, STRAIGHT SQUARE EDGE, PARALLEL TO TRENCH, 12 INCH MIN OFFSET

TYPICAL TRENCH DETAIL — SCALE: NONE

LEFT HAND WATER DISTRICT — REV. 7/14/17 | ADW | 1-DD

H1 — TYPICAL WATER TRENCH DETAIL — NTS



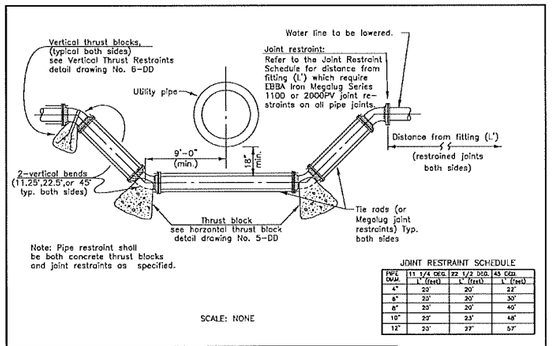
VALVE BOX SHALL BE CENTERED AND PLUMB OVER THE VALVE OPERATING NUT

VALVE SHALL BE BLOCKED WITH BRICK, CINDER BLOCK OR OTHER SUITABLE MASONARY MATERIAL.

SCALE: NONE

VALVE BOX DETAIL — *LEFT HAND WATER DISTRICT* — REV. 7/14/17 | ADW | 3-DD

H6 — VALVE BOX DETAIL — NTS



Note: Pipe restraint shall be both concrete thrust blocks and joint restraints as specified.

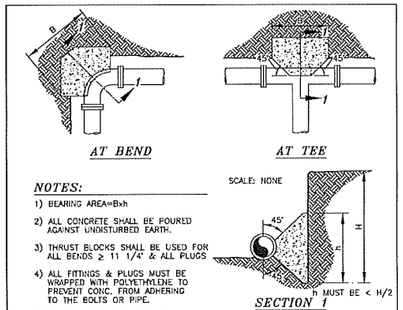
JOINT RESTRAINT SCHEDULE

PIPE DIAM.	11 1/4 DEG. L' (feet)	22 1/2 DEG. L' (feet)	45 DEG. L' (feet)
4"	23'	20'	23'
6"	23'	20'	30'
8"	23'	20'	40'
10"	29'	23'	48'
12"	29'	27'	57'

SCALE: NONE

WATER LINE LOWERING DETAIL — *LEFT HAND WATER DISTRICT* — REV. 1/25/2001 | CPS | 6A-DD

H11 — WATER LOWERING DETAIL — NTS



NOTES:

1) BEARING AREA=Bxh
2) ALL CONCRETE SHALL BE POURED AGAINST UNDISTURBED EARTH.
3) THRUST BLOCKS SHALL BE USED FOR ALL BENDS ≥ 11 1/4° & ALL PLUGS
4) ALL FITTINGS & PLUGS MUST BE WRAPPED WITH POLYETHYLENE TO PREVENT CONC. FROM ADHERING TO THE BOLTS OR PIPE.

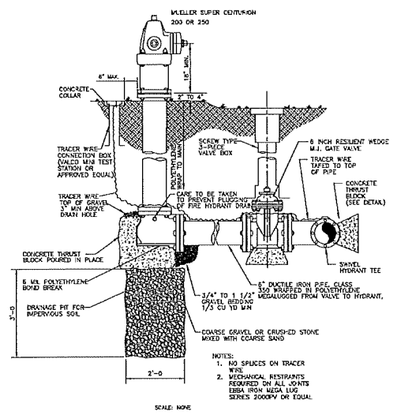
200 P.S.I. PRESSURE TESTING
2000 #/FT² SOIL LOADING

BEARING AREAS FOR VARIOUS FITTINGS (FT.²)

SIZE	TEE & PLUG	90° BEND	45° BEND	22 1/2° BEND	11 1/4° BEND
4"	3.5	4.5	2.5	1.5	1.0
6"	8.5	7.5	4.0	3.0	1.5
10"	8.0	11.5	6.0	3.5	2.0
12"	11.5	18.0	9.0	4.5	2.5
14"	15.5	22.0	12.0	6.0	3.5
16"	20.5	28.0	15.5	8.0	4.0
18"	25.5	34.0	19.5	10.0	5.5
20"	30.5	43.5	24.0	12.0	6.0
24"	41.5	61.0	34.0	16.0	9.0
30"	59.5	95.0	53.0	27.5	14.0
36"	89.5	140.5	78.5	39.0	23.0
42"	134.5	190.0	103.0	53.0	38.5

HORIZONTAL THRUST BLOCKS — *LEFT HAND WATER DISTRICT* — REV. 7/17/17 | ADW | 5-DD

A1 — HORIZONTAL THRUST BLOCK DETAIL — NTS

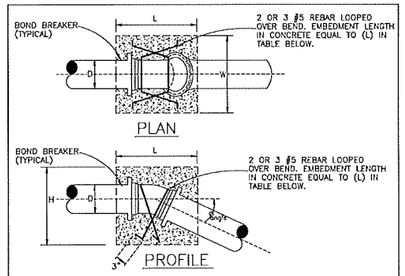


NOTES:
1. NO SPLICES ON TRACER WIRE
2. MECHANICAL RESTRAINTS REQUIRED ON ALL JOINTS EBBA IRON MEGA LUG SERIES 2000PV OR EQUAL

SCALE: NONE

STANDARD FIRE HYDRANT INSTALLATION — *LEFT HAND WATER DISTRICT* — REV. 7/14/17 | ADW | 4-DD

A5 — FIRE HYDRANT DETAIL — NTS



PIPE DIAM.	11 1/4 DEG. L'	B'	H'	Cy.	22 1/2 DEG. L'	B'	H'	Cy.	45 DEG. L'	B'	H'	Cy.
4"	13	27	27	0.3	13	36	37	0.4	24	41	35	0.8
6"	20	36	30	0.5	17	51	44	0.8	31	70	36	1.6
8"	23	44	37	0.8	24	67	44	1.6	39	70	50	2.9
10"	28	50	40	1.3	33	65	52	2.4	45	79	56	4.3
12"	34	61	45	1.8	42	77	52	3.5	52	88	66	6.4

NOTES:
1. Volume of concrete is in cubic yards.
2. Concrete shall be 3,000 psi (compressive strength.)
3. Thrust blocks to be centered horizontally on the bend.
4. Design is based on 200 psi test pressure (P) with a safety factor (SF) of 1.5.
5. Vertical thrust block "under" bends to be sized based on bearing area---see horizontal thrust block detail.

Volume of thrust block in cubic yards. $= \frac{SF*P*A*(\sin\ \text{angle})}{27*3} * 140$ pcf (density of concrete in cubic feet.)

P= test pressure in psi
A= cross sectional area of pipe in square inches
θ= degree of bend from horizontal plane.
140= mass of concrete per cubic foot.

VERTICAL THRUST RESTRAINT DETAIL — *LEFT HAND WATER DISTRICT* — REV. 10/30/2016 | ADW | 6-DD

A9 — VERTICAL THRUST RESTRAINT DETAIL — NTS

QUIKTRIP WATER DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	WATER DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 31 OF 37

PROJECT NO.: QKT004202

Galloway
8120 E Nine Mile Circle, Suite 320
Greenwood Village, CO 80111
303.770.8884
Galloway55.com

QuikTrip No. 4202
CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS
		ORIGINAL ISSUE DATE:

SHEET TITLE: WATER DETAILS

SHEET NUMBER: C580

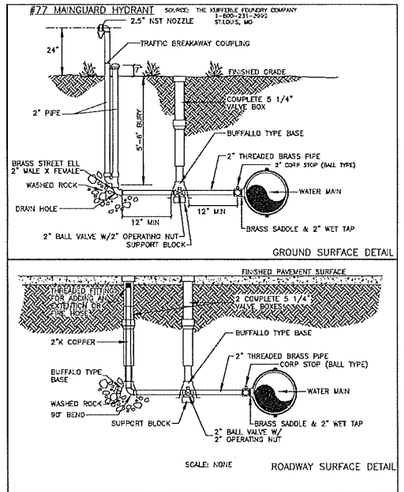
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

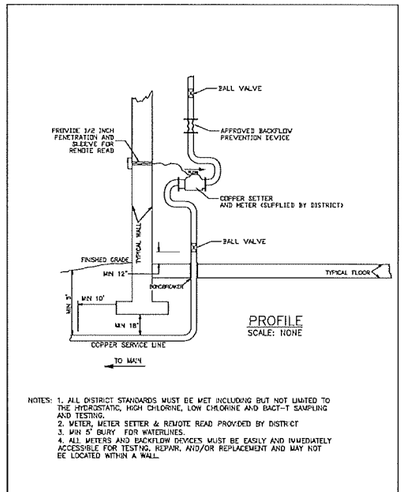
SHEET 32 OF 37



BLOW-OFF DETAILS	LEFT HAND WATER DISTRICT		
	REV. 7/18/17	ADW	8-DD

H1 — BLOW-OFF DETAIL

NTS



NOTES:
1. ALL DISTRICT STANDARDS MUST BE MET INCLUDING BUT NOT LIMITED TO THE HYDROSTATIC, HIGH CHLORINE, LOW CHLORINE AND BACT-T SAMPLING AND TESTING.
2. METER, METER SETTER & REMOTE READ PROVIDED BY DISTRICT
3. MIN 5' BURY FOR WATERLINES.
4. ALL METERS AND BACKFLOW DEVICES MUST BE EASILY AND IMMEDIATELY ACCESSIBLE FOR TESTING, REPAIR, AND/OR REPLACEMENT AND MAY NOT BE LOCATED WITHIN A WALL.

TYPICAL COMMERCIAL DOMESTIC SERVICE (NO FIRE LINE)	LEFT HAND WATER DISTRICT		
	REV. 8/29/2019	MGH	13B-DD

H5 — COMMERCIAL WATER METER

NTS

H12 — NOT USED

NTS

A1 — NOT USED

NTS

A5 — NOT USED

NTS

A9 — NOT USED

NTS

QUIKTRIP WATER DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	WATER DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 32 OF 37

PROJECT NO.: QKT004202

Galloway
6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.5884
Galloway.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:

WATER DETAILS

SHEET NUMBER:

C581

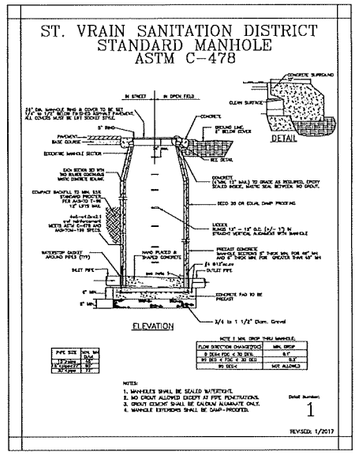
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

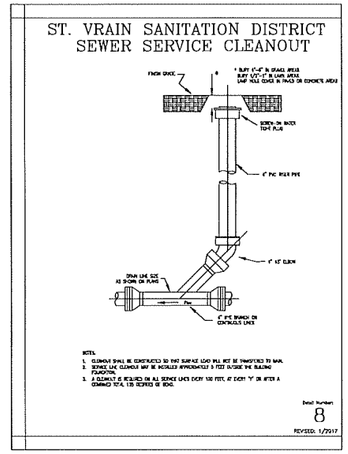
TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

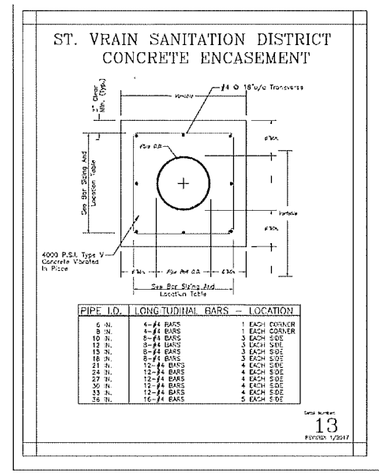
SHEET 33 OF 37



H1 — SEWER MANHOLE — NTS

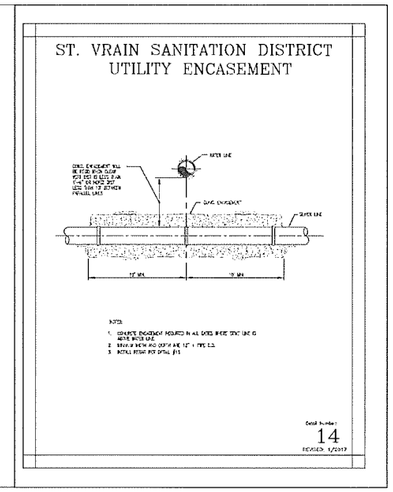


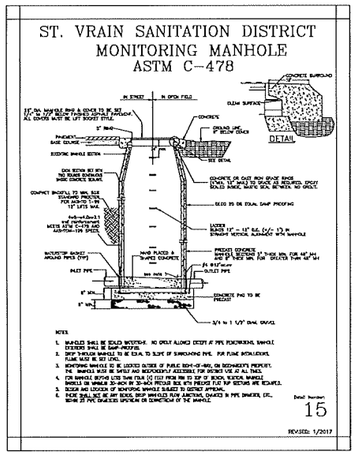
H5 — SEWER CLEANOUT — NTS



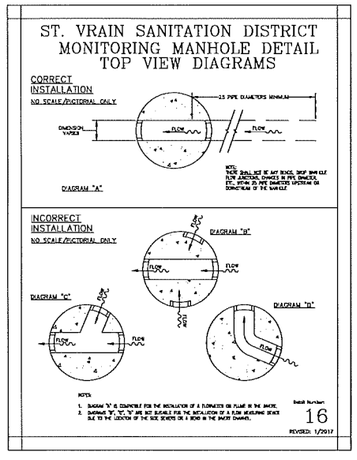
PIPE I.D.	LONGITUDINAL BARS – LOCATION	
6 IN.	4-#4 BARS	1 EACH CORNER
8 IN.	4-#4 BARS	1 EACH CORNER
10 IN.	8-#4 BARS	3 EACH SIDE
12 IN.	8-#4 BARS	3 EACH SIDE
15 IN.	8-#4 BARS	3 EACH SIDE
18 IN.	8-#4 BARS	3 EACH SIDE
21 IN.	12-#4 BARS	4 EACH SIDE
24 IN.	12-#4 BARS	4 EACH SIDE
27 IN.	12-#4 BARS	4 EACH SIDE
30 IN.	12-#4 BARS	4 EACH SIDE
33 IN.	12-#4 BARS	4 EACH SIDE
36 IN.	16-#4 BARS	5 EACH SIDE

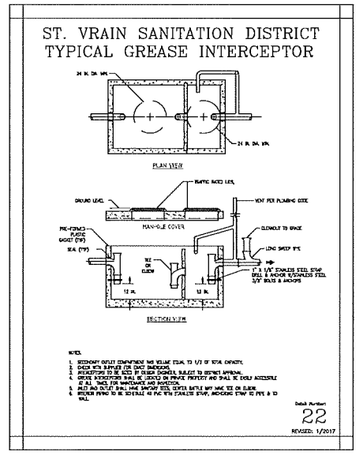
H9 — CONCRETE SEWER ENCASEMENT — NTS





A1 — MONITORING MANHOLE — NTS





A9 — GREASE INTERCEPTOR — NTS

QUIKTRIP	
SEWER DETAILS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	SEWER DETAILS
PREPARATION DATE:	FEBRUARY 14, 202D
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 33 OF 37	

PROJECT NO.: QKT004202

Galloway

8120 S. Willow Circle, Suite 320
Greenwood Village, CO 80111
303.770.5884
Galloway.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER RURAL DITCH COMMENTS
3	8/25/20	REVISED PER MUNICIPAL COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS
		ORIGINAL ISSUE DATE:

SHEET TITLE: SEWER DETAILS

SHEET NUMBER: C582

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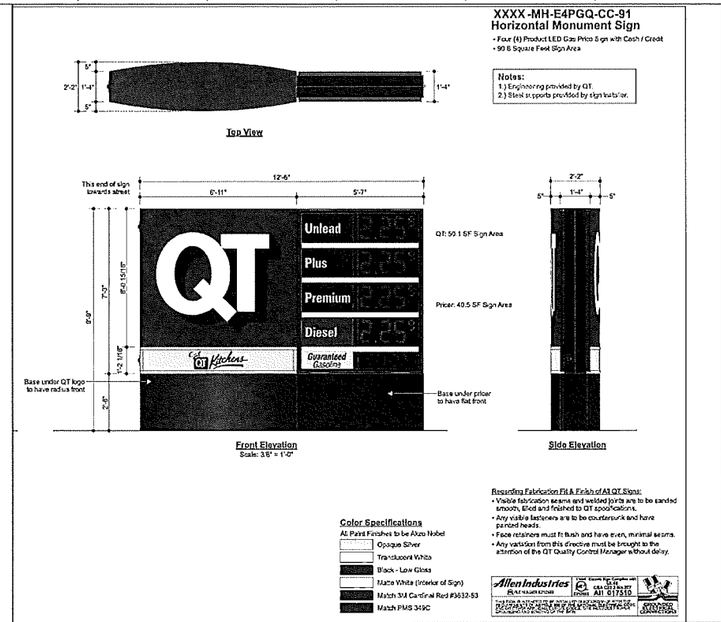
FINAL DEVELOPMENT PLAN

QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

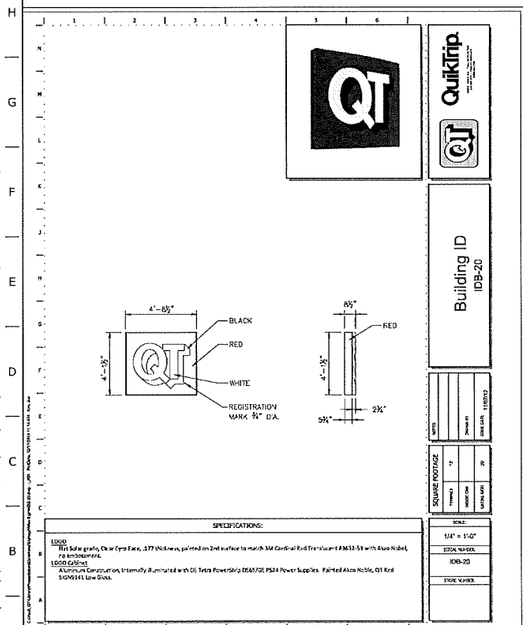
STATE OF COLORADO

SHEET 34 OF 37



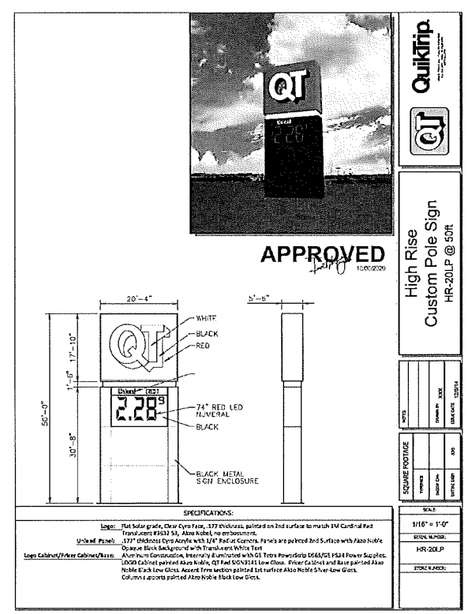
H5 | MONUMENT SIGN DETAIL

SCALE: NTS



A1 | BUILDING ID DETAIL

SCALE: NTS



A5 | HIGH RISE SIGN DETAIL

SCALE: NTS

MISCELLANEOUS SIGNAGE NOTE

1. SIGNS ARE FOR ILLUSTRATIVE PURPOSES ONLY AND WILL MEET THE FIRESTONE DEVELOPMENT CODE.

QUIKTRIP

SIGNAGE DETAILS

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	SIGNAGE DETAILS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 34 OF 37

PROJECT NO.: QKT004202

Galloway

6162 S. Willow Drive, Suite 320
Greenwood Village, CO 80111
303.770.8884
GallowayUS.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/24/20	REVISED PER RURAL DITCH COMMENTS
3	11/20/20	REVISED PER RURAL DITCH COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:

MISC. SITE DETAILS

SHEET NUMBER:

C590

FILE LOCATION: H:\QuikTrip\QKT004202-Firestone, CO\CADD\2 Plan\B5-4202 DETAILS SIGNAGE.dwg TAB NAME: C590-Sign Details USER: Trevan_Edwards SAVED: 2/9/2021 10:52 AM PLOTTED: 2/12/2021 4:49 PM

FINAL DEVELOPMENT PLAN

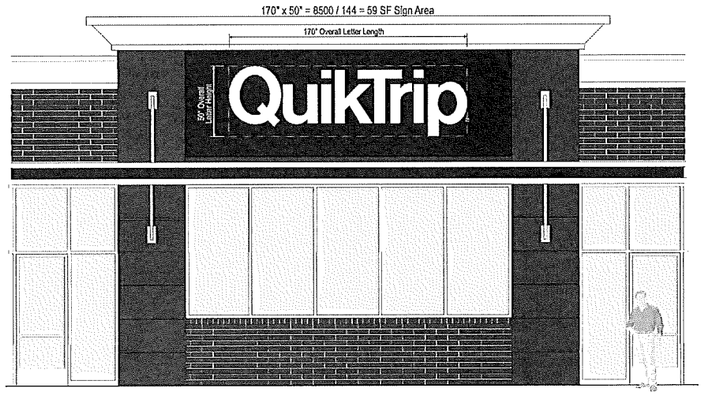
QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

SHEET 35 OF 37

QT CL-60F-LD
Building Channel Letters
White Lettering with Red Halo



Front View - Sign Type CL-60F-LD - Flat Front Aluminum Wall Sign
Projected Channel Letters with White LED Illuminated LD Poly Faces & Red LED Halo
Scale 1/4" = 1'-0"

Client Review Status

Alen Industries, Inc. requires full or ☐ "Approved" drawing(s) detailed from the client prior to any production. Include production version.

☐ Approved ☐ Approved as Noted ☐ Revise & Resubmit

Name
Date Date

Declaration

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Any infringement will be subject to legal action.

Date / Description

03/15/19 Issue Date
03/15/19 Rev 1

Project Information

Client QuikTrip Corporation - Gen III Exterior Sign Program
Item QT-CL60F-LD
File QT-CL60F-LD
Sales Tom Allen Design CT TM James Gentry

Allen Industries
Corporate Identity Programs
Corporate Signage Division
6434 Burnt Poplar Road, Greensboro, NC 27409
Phone 800-967-2553 Fax 336-668-7875
Because Image Is Everything™

A1 | BUILDING RENDERING DETAIL

NTS | SN:

QUIKTRIP

BUILDING RENDERING

NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	BUILDING RENDERING
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021

SHEET 35 OF 37

PROJECT NO.: QKT004202

Galloway

8102 S. Willow Drive Suite 330
Greenwood Village, CO 80111
303.770.6664
Galloway US.com

QuikTrip No. 4202

CO HIGHWAY 119 & TURNER BLVD.
FIRESTONE, CO 80504

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PROTOTYPE: P-100 (11/01/19)
DIVISION:
VERSION: 001
DESIGNED BY: TJE
DRAWN BY: TJE
REVIEWED BY: JRR

REV	DATE	DESCRIPTION
1	6/08/20	REVISED PER TOWN COMMENTS
2	7/22/20	REVISED PER FINAL DTC COMMENTS
3	8/25/20	REVISED PER FINAL DTC COMMENTS
4	11/17/20	REVISED PER MUNICIPAL COMMENTS
5	02/12/21	REVISED PER MUNICIPAL COMMENTS

ORIGINAL ISSUE DATE:

SHEET TITLE:
BUILDING RENDERING

SHEET NUMBER:
C591

FILE LOCATION: H:\Quiktrip\QKT004202-Firestone, CO\CADD\2 Plan\B3-4202 DETAILS SIGNAGE.dwg TAB NAME: C591-Building Rendering USER: Trevor_Edwards SAVED: 2/9/2021 10:52 AM PLOTTED: 2/12/2021 4:59 PM

FINAL DEVELOPMENT PLAN

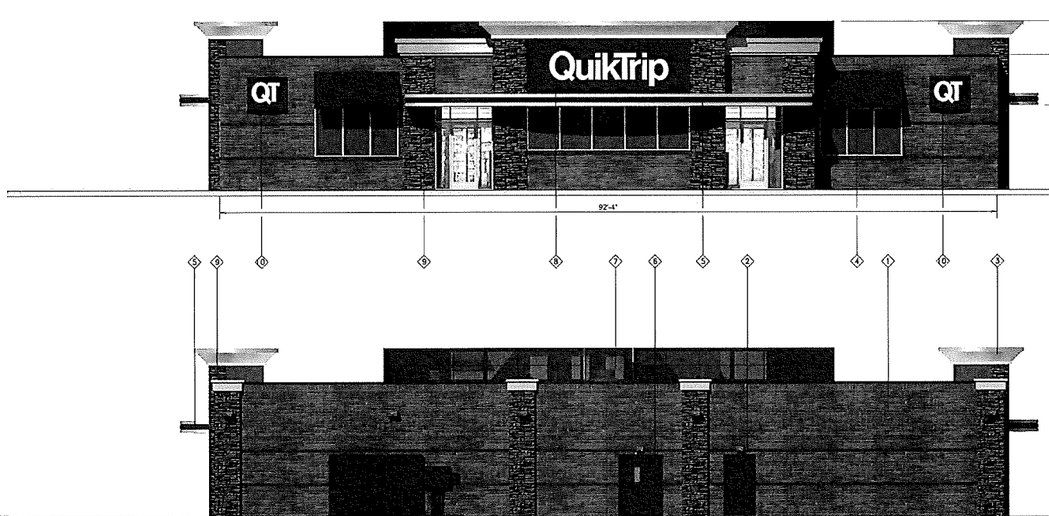
QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY

STATE OF COLORADO

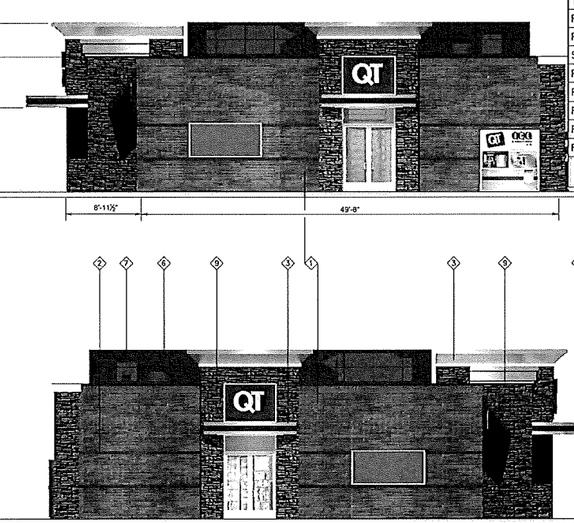
SHEET 36 OF 37

QUIKTRIP	
EXTERIOR ELEVATIONS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	EXTERIOR ELEVATIONS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 36 OF 37	



Front Elevation

Rear Elevation



Right Elevation

Left Elevation

QuikTrip

4705 South 129th East Ave.
Tulsa, OK 74134-7008
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store #	Address:	City, State:
4202 Non-Standard G3S Black Stone	NWC HWY 119 & I25	Firestone, CO

Serial #	Scale:	Issue Date:	Drawn By:	Rev/Notes:
83-4202-G3S	1/8"=1'-0"	02.05.21	JK	

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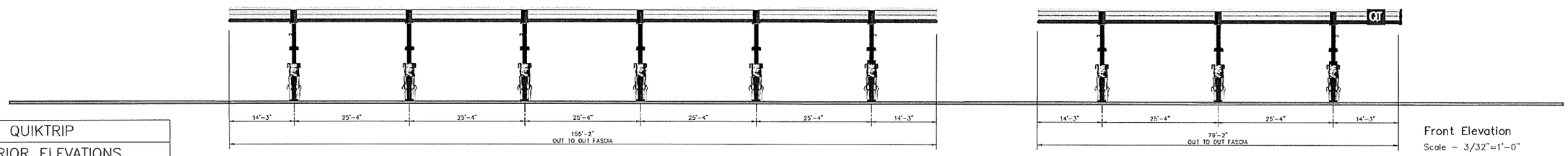
#	FINISH	MANUFACTURER	SPECIFICATION
1	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
2	MIDNIGHT	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
3	BRUSHED ALUMINUM	REYNOBOND	FASCIA
4	QT RED	SHERWIN - WILLIAMS	STANDING SEAM AWNING
5	RED POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
6	QT BROWN	SHERWIN - WILLIAMS	METAL/PAINT
7	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH
8	CL-02R	ALLEN INDUSTRIES	SIGNAGE
9	BLACK	GLEN GERY	STACKED STONE
10	DB-20	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE

FINAL DEVELOPMENT PLAN

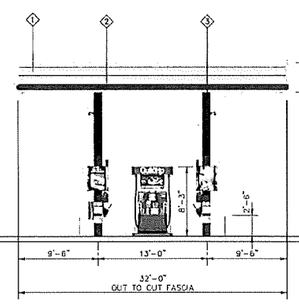
QUIKTRIP STORE #4202

TOWN OF FIRESTONE, WELD COUNTY
STATE OF COLORADO
SHEET 37 OF 37

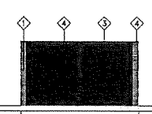


Front Elevation
Scale – 3/32"=1'-0"

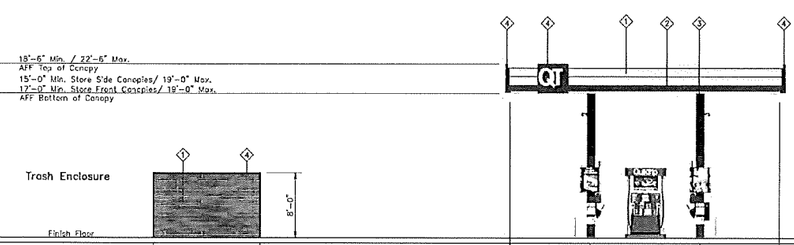
QUIKTRIP	
EXTERIOR ELEVATIONS	
NAME OF APPLICATION:	QUIKTRIP
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	TBD
PHASE NUMBER:	
SHEET TITLE:	EXTERIOR ELEVATIONS
PREPARATION DATE:	FEBRUARY 14, 2020
REVISION DATE:	JULY 22, 2020
REVISION DATE:	AUGUST 25, 2020
REVISION DATE:	NOVEMBER 17, 2020
REVISION DATE:	FEBRURARY 12, 2021
SHEET 37 OF 37	



Left Elevation
Scale – 1/8"=1'-0"



Front Elevation



Side Elevation

Right Elevation
Scale – 1/8"=1'-0"

QuikTrip.

4705 South 129th East Ave.
Tulsa, OK 74134-7058
P.O. Box 3475
Tulsa, OK 74101-3475
(918) 615-7700

Store #	Address:	City, State:
4202 Vertical 10 Canopy Elevations	NWC HWY 119 & I25	Firestone, CO

Serial #	Scale:	Issue Date:	Drawn By:	Rev/Notes:
83-4202-GV09	AS NOTED	09.15.20	JK	

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#	FINISH	MANUFACTURER	SPECIFICATION
1	HE7-ALUVIUM	ALPOLIC	CANOPY
2	RED 170 POLYCARBONATE	ALLEN INDUSTRIES	ILLUMINATED BAND
3	QT BROWN	SHERWIN – WILLIAMS	METAL/PAINT
4	FDC-14	ALLEN INDUSTRIES	ILLUMINATED SIGNAGE
5	BRONZESTONE	INTERSTATE BRICK	ATLAS STRUCTURAL BRICK
6	BLACK	ALL COURT FABRICS	POLYPRO 95 MESH

QuikTrip Corporation

A Few Facts about QT:

- 15 years on Fortune's List of "100 Best Companies to Work For in America"
- All locations owned and operated by QuikTrip, founded in 1958, still family owned
- Perennially Listed on Forbes' Top 100 Privately Held Companies – Currently #29
- Creates an average of 22 new jobs per store
- Has never laid off an employee in the history of the company
- Average Store Manager earns $100,000 per year
- Average entry level Assistant Manager starting pay is $50,000 per year
- QuikTrip contributes 5% percent of its profits to charitable organizations in the communities in which it operates
- QuikTrip is a National Safe Place location for endangered youth

Safe Place

- QuikTrip shares a vision of safe neighborhoods and communities. That's why we've partnered with Safe Place to designate our stores as Safe Place sites for at-risk youth.
- Safe Place is a national nonprofit organization that provides safety for troubled or threatened youth. Since 1991, QuikTrip has been a designated Safe Place, where runaways and at-risk youth can come in off the street, receive food and drink, and wait for a volunteer from a Safe Place agency partner to connect them with professional help or a place to stay until their situation is resolved. In addition to our stores being Safe Place sites, QuikTrip provides grants to the local Safe Place agencies.
- We're grateful for the valuable service Safe Place agencies and their volunteers provide. To learn more about Safe Place, visit nationalsafeplace.org.

Folds of Honor

- QuikTrip is proud to support our military families, employees, and customers.
- QuikTrip partners with The Folds of Honor to provide scholarships to military families in the cities where we operate stores, commissaries and distribution warehouses.
- To learn more about the Folds of Honor and how you can help visit www.foldsofhonor.org.

FOLDS of HONOR
FOUNDATION

Store Security Features

QuikTrip is committed to providing the very best security features for its employees and customers. QuikTrip Corporation is widely considered the best in the industry due to the commitment in providing a safe operation. Every square inch of QT property will be under video surveillance.

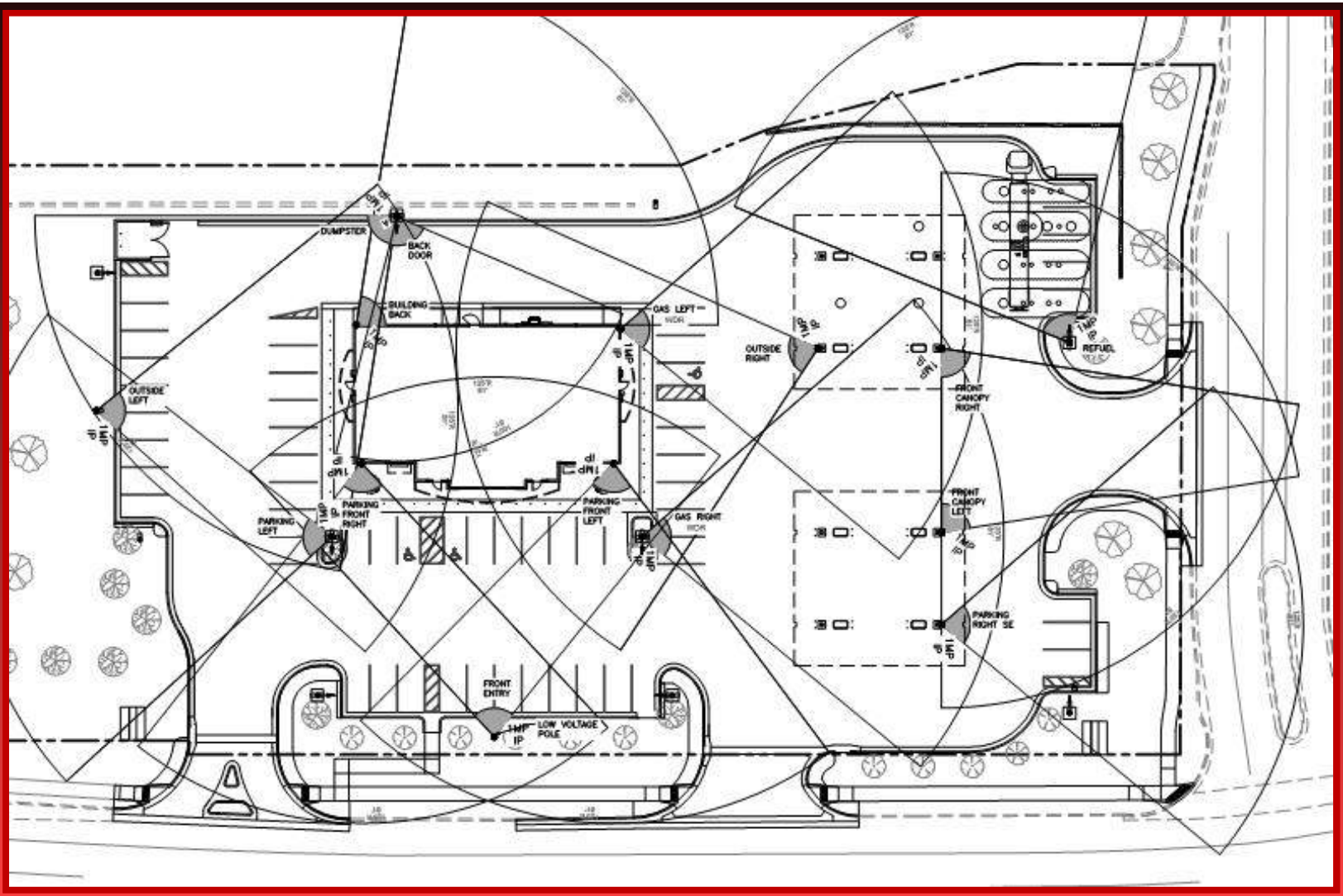
QT Store Security System

QuikTrip Corporate Security Department monitors the cameras, the alarm and DVR systems 24 hours per day, 7 days a week.

The system has several access points:

- Check stand Alarm Button
- Backroom Alarm Button
- Personal Dual-Button Belt Alarm
- Check stand Camera
- Sales Floor Camera
- Live Video Broadcast from the Store to Corporate Security Department
- Video Monitor and Microphone with DVR
- Pinhole camera on the front and rear door
- Safe by Design
- Lighting

QT Store Security Camera Plan



Store Photos

Store Photos

Store Photos

Store Photos

QT QuikTrip

Store Photos

QT QuikTrip

Store Photos

Store Photos

QT QuikTrip

Store Photos

Store Photos

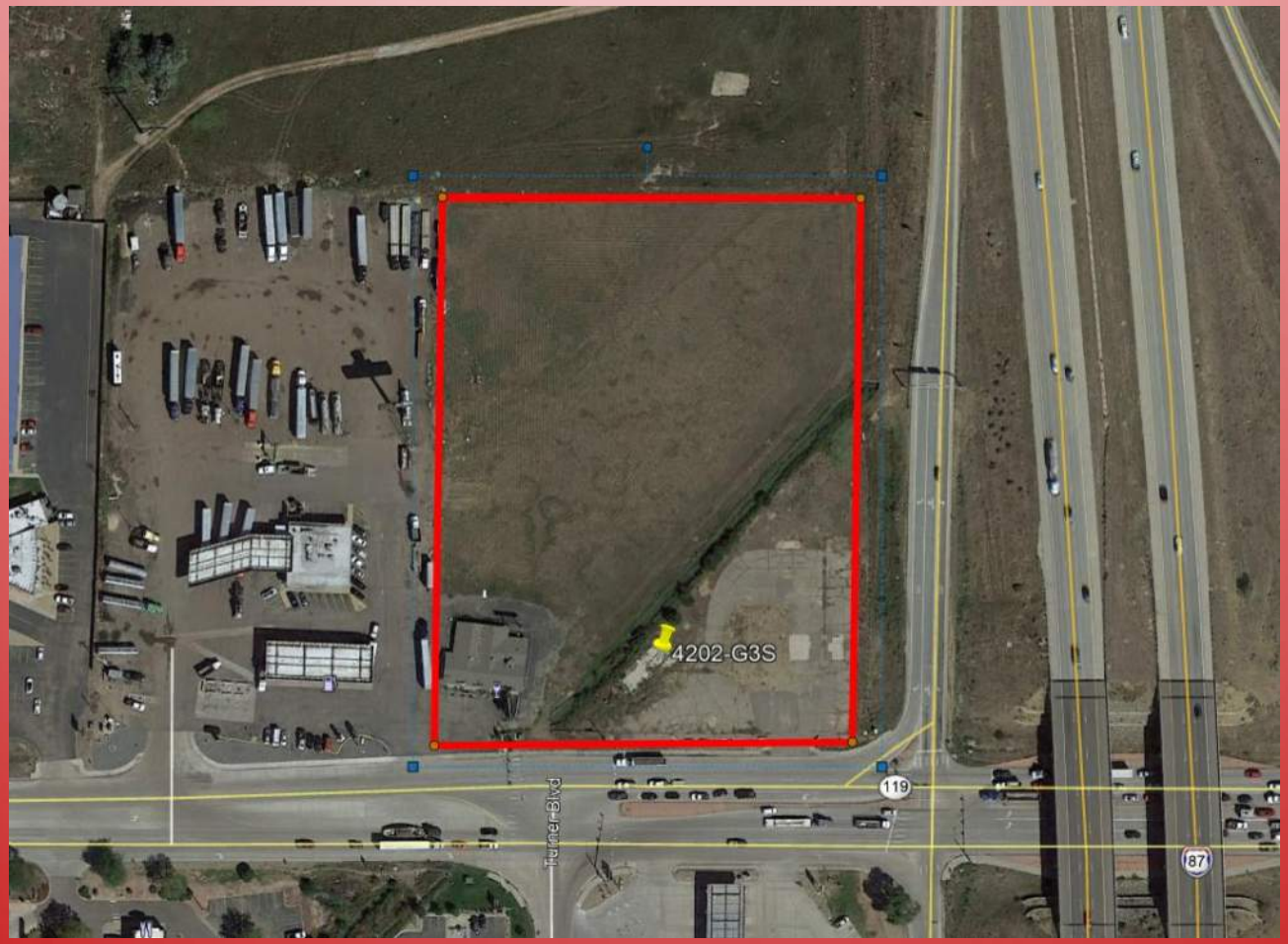
QT QuikTrip

Store Photos

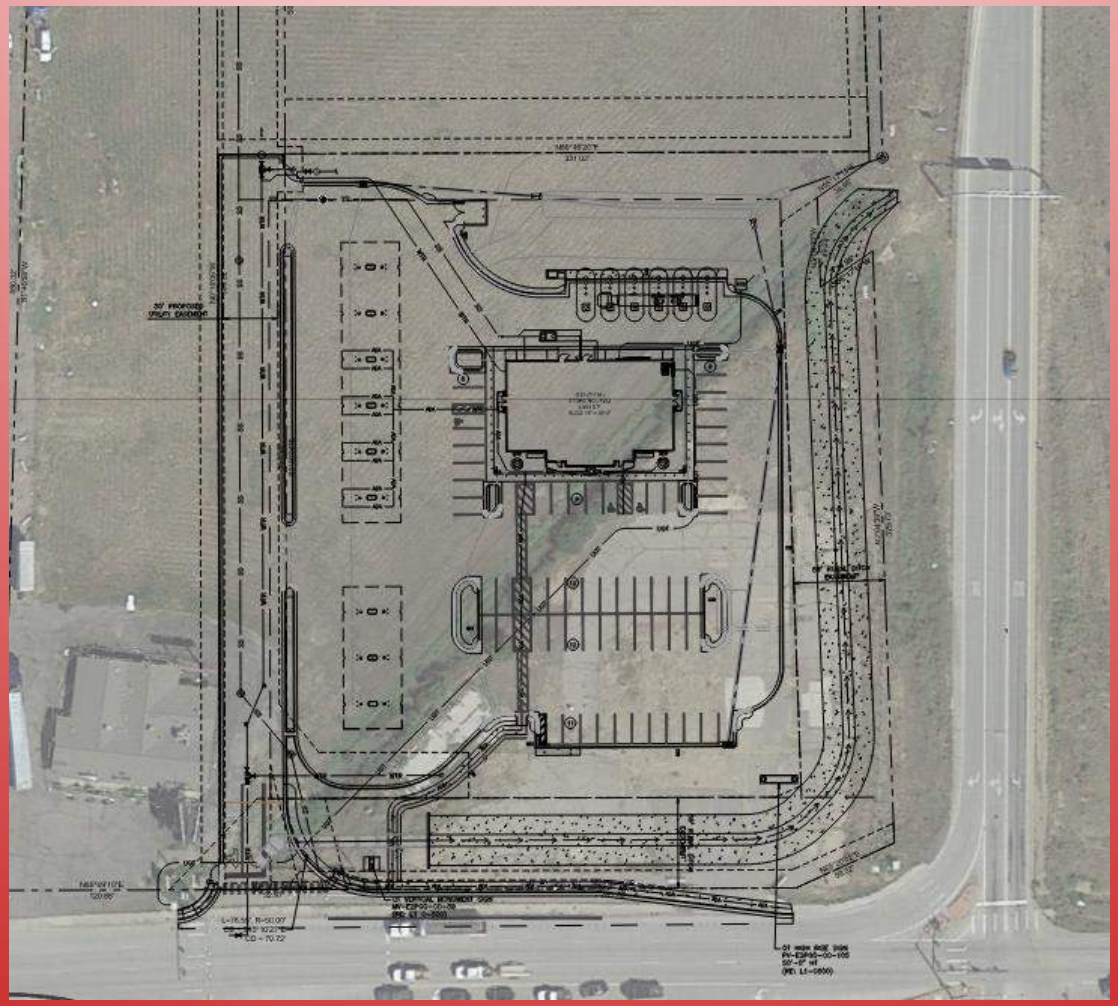
QT QuikTrip

Proposed QuikTrip location

HWY 119 & Interstate 25



Site Plan



Rendered Site Plan

Rendered Site Plan

Rendered Site Plan

Rendered Site Plan

Rendered Site Plan