



PLANNING AND ZONING COMMISSION

REGULAR MEETING AGENDA

May 6, 2021

6:00 PM

9900 Park Avenue
Firestone, CO 80504

1. Access Information

- a. Firestone Planning is inviting you to a scheduled Zoom meeting.

Topic: PC Meeting 5-06-21

Time: May 6, 2021 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us02web.zoom.us/j/88480409941?pwd=dW5tUkRacFQxbjI2czMxOC9hU0R5QT09>

Meeting ID: 884 8040 9941

Passcode: 363691

One tap mobile

+16699009128,,88480409941#,,, *363691# US (San Jose)

+12532158782,,88480409941#,,, *363691# US (Tacoma)

Dial by your location

+1 669 900 9128 US (San Jose)

+1 253 215 8782 US (Tacoma)

+1 346 248 7799 US (Houston)

+1 646 558 8656 US (New York)

+1 301 715 8592 US (Washington DC)

+1 312 626 6799 US (Chicago)

Meeting ID: 884 8040 9941

Passcode: 363691

Find your local number: <https://us02web.zoom.us/j/88480409941>

2. Call to Order & Roll Call

3. Pledge of Allegiance

4. Approval of Agenda

* Individuals that desire to address the Planning and Zoning Commission are requested to sign up at the table at the entrance to the meeting room. Each individual will be provided an opportunity to speak (limited to two minutes) during Public Comment. Maximum time permitted for all Public Comment is 30 minutes for each Public Comment noted on Agenda.

If you need special assistance in order to participate in a Planning and Zoning Commission meeting, please contact the Town Clerk's Office at 303-833-3291 in advance of the meeting to make arrangements. A forty-eight-hour notice is requested.

5. Approval of Minutes

- a. Regular Meeting - April 1, 2021

6. Public Comment * (maximum time permitted for all Public Comment is 30 minutes)

7. Public Hearings

- a. **Resolution PC 21-05** - A RESOLUTION RECOMMENDING APPROVAL OF A FINAL DEVELOPMENT PLAN FOR LOT 2, 19 & 26 CROSSINGS FILING NO. 1

8. Staff Reports

9. Commissioner Comments

10. Adjournment

* Individuals that desire to address the Board of Trustees are requested to sign up at the table at the entrance to the meeting room. Each individual will be provided an opportunity to speak (limited to two minutes) during Public Comment. Maximum time permitted for all Public Comment is 30 minutes.

If you need special assistance in order to participate in a Board of Trustees meeting, please contact the Town Clerk's Office at 303-833-3291 in advance of the meeting to make arrangements. A forty-eight-hour notice is requested.

**TOWN OF FIRESTONE, COLORADO
PLANNING AND ZONING COMMISSION
Regular Meeting
April 1, 2021**

1.ACCESS INFORMATION

2.CALL TO ORDER

The Planning and Zoning Commission of the Town of Firestone met on April 1, 2021, at 9900 Park Avenue, Firestone, Colorado. Chairperson Haney called the meeting to order at 6:02 p.m.

The following were present upon the call of the roll:

Chairperson:	Dennis Haney
Vice-Chairperson:	Tim Spiegelberg
Commissioners:	Jaci Daggett
	John Damsma
	Amber Harper
	Casey O'Donnell
	Jim Sutton

Staff:	Todd Bjerkaas – Director, Planning and Development
	Marty Ostholthoff – Planning Manager
	Millissa Berry – Sr. Planner
	Lisa Bartley – PC Secretary

3.PLEDGE OF ALLEGIANCE

Chairperson Haney led the pledge of allegiance.

4.APPROVAL OF AGENDA

Vice-Chairperson Spiegelberg motioned and Commissioner Damsma seconded to approve the agenda. Voice vote was taken. Motion carried unanimously.

5.APPROVAL OF MINUTES

a. February 18, 2021 – Regular Meeting

Commissioner O'Donnell motioned and Commissioner Harper seconded to approve the meeting minutes of the February 18, 2021 Regular Meeting. Voice vote was taken. Motion carried unanimously.

6.ACTION/DISCUSSION

Resolution PC-21-02 – A RESOLUTION OF THE FIRESTONE PLANNING AND ZONING COMMISSION AMENDING THE RULES OF PROCEDURE FOR THE FIRESTONE PLANNING AND ZONING COMMISSION REGARDING REGULAR MEETINGS

Vice-Chairperson Spiegelberg motioned and Commissioner Daggett seconded to approve **Resolution PC-21-02**

Voice vote was taken. Motion carried unanimously.

7.PUBLIC COMMENT

None

8.PUBLIC HEARING

- a. **Resolution PC-21-03 – A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLAT AND FINAL DEVELOPMENT PLAN FOR TURNER COMMONS FILING 1**
- b. **Resolution PC-21-04 – A RESOLUTION RECOMMENDING APPROVAL OF A FINAL DEVELOPMENT PLAN FOR LOT 3 TURNER COMMONS FILING 1**

Chairperson Haney verified with the Secretary that proper notice of the Public Hearing had been provided and opened the Public Hearing at 6:09 p.m.

Millissa Berry, Sr. Planner, provided a general overview of the proposed application requests for both resolutions and reviewed the PowerPoint presentation of the Staff Report with the Commissioners. She also offered to answer any questions.

Craig Bromwell – 1499 W. 120th Ave, Westminster, CO representing the applicant, provided the Commissioners with a general overview of the application request and offered to answer any questions.

Chairperson Haney opened and closed the Public Comment portion at 6:34 p.m. Those wishing to speak:
None

The Town Staff PowerPoint presentation was entered into the record along with all application materials submitted by the applicant; all materials included in the Planning Commission packets; the PowerPoint presentations given tonight; all written referral and public comments received regarding the application; the proofs of public notice of the public hearing; and the Town's subdivision and zoning ordinances and development regulations.

The Commissioners held a general discussion with staff and questioned the applicant regarding the application. Chairperson Haney closed the Public Hearing at 6:58 p.m.

Commissioner Daggett motioned and Vice-Chairperson Spiegelberg seconded to approve **Resolution PC-21-03–A RESOLUTION RECOMMENDING APPROVAL OF A FINAL PLAT AND FINAL DEVELOPMENT PLAN FOR TURNER COMMONS FILING 1**

Voting was as follows:

Yes: Daggett, Damsma, Haney, O'Donnell, Spiegelberg, Sutton

No: Harper

Absent: None

Chairperson Haney declared the motion carried.

Commissioner Damsma motioned and Commissioner O'Donnell seconded to approve **Resolution PC-21-04–A RESOLUTION RECOMMENDING APPROVAL OF A FINAL DEVELOPMENT PLAN FOR LOT 3 TURNER COMMONS FILING 1**

Voting was as follows:

Yes: Daggett, Damsma, Haney, O'Donnell, Spiegelberg, Sutton

No: Harper

Absent: None

Chairperson Haney declared the motion carried.

c. Resolution PC-21-05 – A RESOLUTION REGARDING LOT 2, 19 & 26 CROSSINGS FINAL DEVELOPMENT PLAN

Chairperson Haney verified with the Secretary that proper notice of the Public Hearing had been provided and opened the Public Hearing at 7:01 p.m.

Marty Ostholtzoff – Planning Manager - asked for a continuance to the May 6th, 2021 Planning Commission meeting.

Vice-Chairperson Spiegelberg motioned and Commissioner Daggett seconded to continue the hearing to the May 6th, 2021 meeting.

Voting was as follows:

Yes: Daggett, Damsma, Haney, Harper, O'Donnell, Spiegelberg, Sutton

No: None

Absent: None

Chairperson Haney declared the motion carried

9. STAFF REPORTS

Todd Bjerkaas

- Gave everyone a Central Park Master Plan handout

Millissa Berry

- Old Town/Historic Firestone Project

10. COMMISSIONER COMMENTS

None

11. ADJOURNMENT

A motion was made and seconded to Adjourn. Voice vote was taken. Chairperson Haney adjourned the meeting at 7:13 p.m.

Introduced and Approved this 6th day of May, 2021.

TOWN OF FIRESTONE, COLORADO

Chairperson

ATTEST

Lisa Bartley, Secretary



Staff Report

**Lot 2, 19 & 26 Crossings – Filing No. 1, Swabbco Storage
Final Development Plan**

**Prepared by the
Town of Firestone for the
Planning and Zoning Commission**

May 6, 2021

Applications

This staff report is for the Lot 2, 19 & 26 Crossings Filing No. 1, Final Development Plan (FDP). The applicant for the FDP is Jenni Lee Stults/ReMax Alliance, and 19 and 26, LLC and member representative Don Strain are the owners.

Notice

Pursuant to the Town Code and Development Regulations, proper notification of the public hearings were published. Proof of notification to surrounding property owners and a property posting affidavit have been provided by the applicants.

Location and Process

The approximate location of the FDP is the southwest corner of Zinnia Avenue (WCR 26) and Locust Street (WCR 19). The FDP approval is the final step in the Firestone Development Code process prior to the building permit process.

Final Development Plan Analysis

Lot 2, 19 & 26 Crossings Filing No. 1 FDP property is zoned Planned Unit Development with Employment Center (EC PUD) and Regional Commercial (RC PUD) land uses and is approximately 15.59 acres in size as identified on the 19 & 26 Crossings Outline Development Plan (ODP). The 19 & 26 Crossings Filing No. 1 Final Plat created two developable lots, one tract for future development, and one outlot for drainage and utility purposes. Access into Lot 2 will be from Zinnia Avenue.

Lot 2 is proposed to be developed into an outdoor recreational vehicle (RV) storage area. Lot 2 will also contain a covered RV parking along the western property line. The Lot 2 FDP provides details for the proposed use as a RV storage property including covered parking and outdoor storage. The RV storage facility will be operated during normal business hours of 8am to 5pm. Access to the storage area will be via gated key entry during daylight hours only. There will be a recreational vehicle dump station and vault located near the entrance gate to the storage area.

The proposed three sided building is oriented with the rear side of the building perpendicular with the eastern property line of Lot 2, and the open side of the building faces east. On the north end of the building will be an enclosed trash enclosure. Located at the south end of the covered parking structure are two proposed portable toilets with hand sanitizer. The proposed outdoor vehicle parking spaces and drive isles take up the rest of the property. The outdoor storage area will be screened, to the maximum extent practicable, by 6 foot tall privacy fences consisting of wood fencing facing Zinnia Blvd. and chain link fencing with slats along the east, south and west property lines. There will be a gate along the southern property line that will allow the owner of the property to pass between Lot 1 and Lot 2 if necessary.

Furthermore, the development will comply with applicable setback, landscape, lighting, architecture and signage requirements.

Concurrent with the development of Lot 2, the detention pond on Outlot A will need to be constructed and operational prior to the occupancy of the property for the proposed uses.

Building Height

The maximum building height allowed per zoning is 45 feet. The proposed building is approximately 19 feet in height.

Open Space

The annexation agreement for this property requires a minimum of 10 percent of the site to be dedicated for open space purposes or the equivalent amount to be paid as a fee-in-lieu of land dedication. The total dedication requirement for the entirety of the Final Plat was 3.68 acres. Staff determined that 40 percent of this dedication or 1.472 acres will be collected with the Lot 1 FDP as fee-in-lieu. The Town will collect the remaining 2.208 acres of fee-in-lieu of dedication as part of this FDP application for Lot 2.

The applicant, per a condition of approval, will pay \$55,200.00 as the pro-rata share (Lot 2 only) of the required fee-in-lieu of open space dedication prior to the recordation of the FDP.

Oil and Gas Facilities

There is one plugged and abandoned well on the property as shown on the FDP. Additionally, there is one active oil/gas pipeline on the property, which will be protected by not allowing surface parking over the line. There will be a gate in the fence between Lot 1 and Lot 2, which will also allow access to the gas line if necessary.

Utility and Services

Water service will be provided directly from the Central Weld County Water District as the Town of Firestone does not have water infrastructure in reasonable proximity to the property.

Additionally, sanitary sewer service provided by the St. Vrain Sanitation District is not available in reasonable proximity to the property. Therefore, the applicant will use two proposed portable toilets with hand sanitizer. The water tap must be obtained prior to the issuance of a building permit on the property. There will be a dump station, wash out, and underground storage vault for use of recreational vehicle owners. The final design of the dump station and vault to be approved by the Town of Firestone Engineering Department. Electrical service is provided by United Power, which has existing service adjacent to the property.

Fiscal Analysis

The proposed development will provide employment opportunities as well as providing needed storage areas for recreational vehicles.

Planning and Zoning Commission and Board of Trustees Conditions and Standards for Approval

For your general reference, attached are the conditions and standards of approval for a FDP district that are stated in the Firestone Development Regulations.

Conditions and Standards for Approval

The Planning Commission and the Town Board of Trustees may approve a FDP application if it meets the intent of these Regulations and complies with the Town Code and other controlling regulations and documents, including the development standards specified herein. The Planning Commission and Town Board shall consider the following in making their decision for approval, approval with conditions, or denial of a FDP:

- A. The Final Development Plan is generally consistent with the Town's Comprehensive Master Plan;
- B. The Final Development Plan is generally consistent with any previously approved subdivision plat, planned development, or any other precedent plan or land use approval as applicable;
- C. No buildings or structures infringe on any easements so as to impact the full use of the easement;
- D. The Final Development Plan complies with all applicable development and design standards set forth in this FDC;
- E. Any significant adverse impacts reasonably anticipated to result from the use will be mitigated or offset to the maximum extent reasonably practicable; and;
- F. The development proposed on the Final Development Plan and its general location is or will be compatible with the character of surrounding land uses.

RECOMMENDATIONS

Final Development Plan

Town staff recommends the Planning and Zoning Commission approve draft Resolution PC-21-05, a resolution recommending approval of the Lot 2, 19 & 26 Crossings Filing No. 1 Final Development Plan application to the Board of Trustees with the following conditions:

- 1. Modify plans and application materials pursuant to comments of the Town Engineer set forth in memoranda dated January 19, 2020, to the Town's satisfaction.
- 2. Technical corrections to the Lot 2, 19 & 26 Crossing Filing No. 1 Final Development Plan shall be made to the Town's satisfaction.
- 3. Fee-in-lieu of Open Space Dedication in the pro-rata share amount of \$55,200.00 shall be paid to the Town prior to the recordation of the Lot 2, 19 & 26 Crossings Filing No. 1 Final Development Plan.
- 4. The Town of Firestone has determined that the required CBT dedication to be: irrigation demand is 0.31 shares, and the domestic demand is 0.69 shares; a total of 1 share shall be transferred to the Town prior to the recordation of the FDP.
- 5. No grading permit shall be issued on Lot 2, 19 & 26 Crossings Filing No. 1 Final

Development Plan until such time proof of payment has been made to United Power for the relocation of the power pole/equipment located within the northwest corner of Locust Street (WCR 19) and Zinnia Avenue (WCR26).

FIRESTONE PLANNING AND ZONING COMMISSION

RESOLUTION NO. PC-21-05

**A RESOLUTION RECOMMENDING APPROVAL OF A FINAL
DEVELOPMENT PLAN FOR LOT 2, 19 & 26 CROSSINGS FILING NO. 1**

WHEREAS, there has been submitted to the Planning and Zoning Commission of the Town of Firestone a request for approval of a final development plan for Lot 2, 19 & 26 Crossings Filing No. 1; and

WHEREAS, all materials related to the application have been reviewed by Town Staff and found with conditions to be in compliance with Town of Firestone subdivision and zoning ordinances, Development Regulations, and related Town ordinances, regulations, and policies; and

WHEREAS, after a duly-noticed public hearing, at which evidence and testimony were entered into the record, the Planning and Zoning Commission finds the application to be in compliance with Town of Firestone subdivision and zoning ordinances, Development Regulations, and related Town ordinances, regulations, and policies and should therefore be approved, subject to those conditions set forth herein.

NOW, THEREFORE, BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF FIRESTONE, COLORADO:

Section 1. The Planning and Zoning Commission hereby recommends approval of the proposed final development plan for Lot 2, 19 & 26 Crossings Filing No. 1, subject to the conditions set forth on Exhibit A attached hereto and incorporated herein by reference.

PASSED AND ADOPTED this 6th day of May, 2021.

Chairperson

ATTEST:

Secretary

EXHIBIT A
Lot 2, 19 & 26 Crossings Filing No. 1 Final Development Plan
Conditions of Approval

General

1. Modify plans and application materials pursuant to comments of the Town Engineer set forth in memoranda dated January 19, 2020, to the Town's satisfaction.
2. Technical corrections to the Lot 2, 19 & 26 Crossing Filing No. 1 Final Development Plan shall be made to the Town's satisfaction.
3. Fee-in-lieu of Open Space Dedication in the pro-rata share amount of \$55,200.00 shall be paid to the Town prior to the recordation of the Lot 2, 19 & 26 Crossings Filing No. 1 Final Development Plan.
4. The Town of Firestone has determined that the required CBT dedication to be: irrigation demand is 0.31 shares, and the domestic demand is 0.69 shares; a total of 1 share shall be transferred to the Town prior to the recordation of the FDP.
5. No grading permit shall be issued on Lot 2, 19 & 26 Crossings Filing No. 1 Final Development Plan until such time proof of payment has been made to United Power for the relocation of the power pole/equipment located within the northwest corner of Locust Street (WCR 19) and Zinnia Avenue (WCR26).

FINAL DEVELOPMENT PLAN
SWABBCO STORAGE

LOT 2 19 & 26 CROSSINGS – FILING 1
LOCATED IN THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH,
RANGE 67 WEST OF THE 6TH P.M.
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO



DRAWN FOR:
19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS – FILING 1
COVER SHEET
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ert@wernengineer.com

DRAWN
CHECKED
DATE
03/12/2021
SCALE
AS SHOWN
PROJECT #
SWABBCO STORAGE
SHEET
C1
1 OF 16 SHEETS

INDEX

- C1 COVER SHEET
- C2 TEXT NARRATIVE
- C3 GENERAL NOTES
- C4 SITE PLAN/OVERALL UTILITY PLAN
- C5 DETAILED SITE/UTILITY PLAN – NORTH
- C6 DETAILED SITE/UTILITY PLAN – SOUTH
- C7 OVERALL GRADING PLAN
- C8 DETAILED GRADING PLAN – NORTH
- C9 DETAILED GRADING PLAN – SOUTH
- C10 ZINNIA BLVD. PLAN AND PROFILE
- C11 EROSION & SEDIMENT CONTROL PLAN
- C12 DETAILS
- LS1 LANDSCAPE PLAN
- LS2 IRRIGATION PLAN
- A1 COVERED PARKING ELEVATIONS
- P1 PHOTOMETRIC PLAN

LEGAL DESCRIPTION:
LOT 2 OF FINAL PLAT RECORDED ON _____
AT RECEPTION NO. _____ AT THE OFFICE OF THE WELD
COUNTY CLERK AND RECORDER, BEING LOCATED IN THE
NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 2 NORTH, RANGE
67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FIRESTONE,
COUNTY OF WELD, STATE OF COLORADO. SAID PARCEL CONTAINS
15.65 ACRES (681,538 SQUARE FEET) MORE OR LESS.

BASIS OF BEARINGS:
THE RECORD BEARING OF NORTH 00°00'00" EAST ON THE EAST LINE
OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF
SECTION 4, TOWNSHIP 2 NORTH, RANGE 67 WEST, AS PER THE FINAL
PLAT OF MOUNTAIN VISTAS TO THE TOWN OF FIRESTONE.

BENCHMARK:
THE NORTHEAST CORNER OF SECTION 4, TOWNSHIP 2 NORTH,
RANGE 67 WEST, MONUMENTED AS A 2" DIAMETER ALUMINUM CAP
IN MONUMENT BOX.

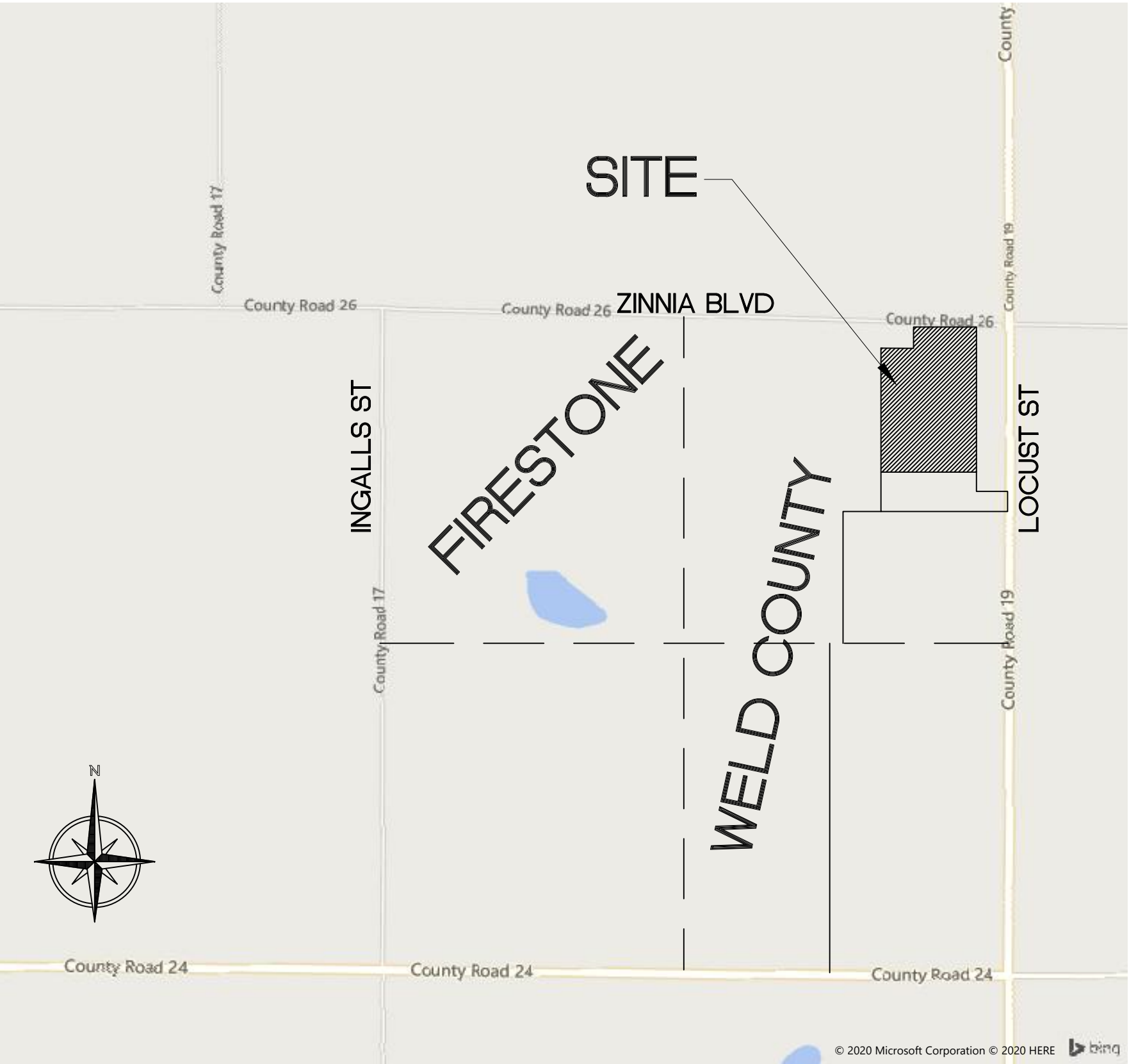
TOP OF CAP ELEVATION = 4885.81
CONTOUR ELEVATION = 1 FOOT

FIRESTONE INFORMATION BLOCK

COVER SHEET

NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A

SHEET 1 OF 16



VICINITY MAP

SCALE: 1" = 1000'

OWNER
19 & 26, LLC
DON STRAIN
PO BOX 745
WINDSOR, CO 80550
970-289-0506
DON.STRAIN@SWABBCO.COM

CIVIL ENGINEER
Wernisman Engineering and Land Development LLC
Eric Wernisman, PE
16493 Essex Rd S
Platteville CO 80651
Cell 970-539-2656

LANDSCAPE ARCHITECT
Planscapes
Robert Molloy, PLA
980 Norway Maple Drive
Loveland CO 80538
970.988.5301

TOWN ACCEPTANCE:

ALL WORK SHALL BE CONSTRUCTED TO TOWN OF FIRESTONE DESIGN STANDARDS AND
CONSTRUCTION SPECIFICATIONS. THIS DRAWING HAS BEEN REVIEWED AND FOUND TO
BE IN GENERAL COMPLIANCE WITH THESE STANDARDS AND SPECIFICATIONS AND OTHER
TOWN REQUIREMENTS. THE ENGINEERING DESIGN AND CONCEPT REMAINS THE
RESPONSIBILITY OF THE PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE
APPEAR HEREON.

ACCEPTED BY: _____ DATE _____
TOWN ENGINEER

ACCEPTANCE BLOCK AND NOTARY:

By signing this FINAL DEVELOPMENT PLAN, THE OWNER ACCEPTS ALL OF THE
REQUIREMENTS AND INTENT SET FORTH HEREIN.

DON STRAIN, AS MEMEBER OF 19 & 26, LLC, A COLORADO LIMITED LIABILITY COMPANY

STATE OF COLORADO)
COUNTY OF WELD) SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____
DAY OF _____, 20____

BY DON STRAIN, AS MEMBER OF 19 & 26, LLC, A COLORADO LIMITED LIABILITY COMPANY

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES

TOWN APPROVAL BLOCK:

APPROVED BY THE TOWN BOARD OF TRUSTEES OF THE TOWN OF FIRESTONE, COLORADO
THIS _____ DAY OF _____, 20____

BY RESOLUTION NO. _____.

MAYOR

ATTEST: TOWN CLERK

FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 2 OF 16



Know what's below.
Call before you dig.

PROJECT CONCEPT
LOT 2, 19 & 26 CROSSINGS WILL BE DEVELOPED INTO AN OUTDOOR RECREATIONAL VEHICLE STORAGE AREA. LOT 2 WILL ALSO CONTAIN COVERED RV PARKING ALONG THE WESTERN PROPERTY LINE. THE LOT 2 FINAL DEVELOPMENT PLAN (FDP) DETAILS THE PROPOSED USE FOR LOT 2 AS AN RV STORAGE PROPERTY INCLUDING THE COVERED PARKING AND OUTDOOR STORAGE AND LANDSCAPING. THE RV STORAGE WILL BE OPERATED DURING NORMAL BUSINESS HOURS OF 8AM TO 5PM. ACCESS TO THE STORAGE AREA WILL BE VIA GATED KEY ENTRY DURING DAYLIGHT HOURS ONLY.

PRIVATE MAINTENANCE AND ENFORCEMENT
DECLARATIONS OF EASEMENTS AND RESTRICTIONS WILL BE PROVIDED AS PART OF THE LOT 2 19&26 CROSSINGS FILING NO. 1 FINAL DEVELOPMENT PLAN. LOT 2 WILL BE MAINTAINED BY THE OWNER OR THEIR ASSIGNS PURSUANT TO THE DECLARATIONS, THIS FDP AND THE TOWN OF FIRESTONE MUNICIPAL CODE. IT WILL BE THE OWNER'S OR THE OWNER'S ASSIGN RESPONSIBILITY TO ENSURE PROPERTY MAINTENANCE OF LOT 2.

PARKS, TRAILS AND OPEN SPACE
NO PARK OR OPEN SPACE DEDICATIONS ARE PLANNED WITH THIS DEVELOPMENT.

CONTROLS
THE DECLARATIONS OF EASEMENTS AND RESTRICTIONS WILL BE PROVIDED AS PART OF THE 19&26 CROSSINGS FINAL PLAT.
ONGOING MAINTENANCE OF THE DEVELOPMENT WILL BE THE RESPONSIBILITY OF THE LOT 2 OWNER OR THEIR ASSIGNS.

DRAINAGE
REFER TO THE DRAINAGE REPORT BY WERNSMAN ENGINEERING AND LAND DEVELOPMENT LLC, WHICH IS FILED AS PART OF THE FDP. THE GENERAL CONCEPT OF THE DRAINAGE DESIGN IS TO FOLLOW THE HISTORICAL FLOW PATTERNS. THE STORM DRAINAGE SYSTEM HAS BEEN DESIGNED IN CONFORMANCE WITH THE TOWN REQUIREMENTS AND THE LOT 1 FINAL DRAINAGE REPORT.

DEVELOPMENT WILL OCCUR ON LOT 2, WHICH IS APPROXIMATELY 15.6 ACRES. APPROXIMATELY 13.9 ACRES WILL BE GRADED TO ACCOMMODATE GRAVEL AREAS, THE COVERED PARKING AND LANDSCAPING. THE REMAINDER OF LOT 2 WILL REMAIN AS IS. A COLLECTOR SWALE WILL BE CONSTRUCTED WITH THE LOT 1 DEVELOPMENT AND LOCATED ALONG THE WESTERN PROPERTY LINE OF LOT 2, WHICH CONVEYS FLOWS NORTH AND INTO A DETENTION POND WITHIN OUTLOT A.

ACCESS TO THE SITE WILL BE FROM THE NORTH FROM ZINNIA BLVD. THE ACCESS DRIVE WILL BE GRADED TO ACCOMMODATE A DRIVEWAY CULVERT. RUNOFF FLOW PATTERNS WILL BE SIMILAR TO HISTORIC. SITE AND OFFSITE RUNOFF WILL BE DIRECTED TOWARDS THE DETENTION POND CONSTRUCTED WITH THE LOT 1 DEVELOPMENT.

UTILITIES
WATER SERVICE WILL CONSIST OF A MAIN EXTENSION FOR FIRE HYDRANTS. THIS PROPERTY IS WITHIN THE CENTRAL WELD COUNTY WATER DISTRICT (CWCWD). TWO (2) FIRE HYDRANTS WILL BE INSTALLED WITH LOT 2 DEVELOPMENT. THE FIRE HYDRANTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS OF CWCWD. THE PROPERTY WILL BE SERVED BY CWCWD AND THAT SERVICE MAY CONTINUE UNTIL THE FACILITY IS REQUIRED TO CONNECT TO THE TOWN'S POTABLE WATER SYSTEM.

THE SITE HAS ACCESS TO DRY UTILITIES LOCATED IN LOCUST STREET OR ZINNIA BLVD.

PROPOSED LAND USE TABLE:	PERCENT IMPERVIOUS (BASED ON AREA)
RECYCLED ASPHALT 565,495 SF (13.0 ACRES) 83.3%	40%
COVERED PARKING 40,250 SF (0.9 ACRES) 5.8%	90%
LANDSCAPE 73,531 SF (1.7 ACRES) 10.9%	2%
TOTAL SITE AREA 679,276 SF (15.6 ACRES) 100%	38.7%

PARKING
LOT 2 PROPOSED RV PARKING:
30' X 12.5': 31 SPACES
35' X 12.5': 97 SPACES
40' X 12.5': 403 SPACES
45' X 12.5': 4 SPACES
COVERED: 55 SPACES (APPROXIMATE)
TOTAL PROVIDED:590 SPACES

ARCHITECTURE
THE ARCHITECTURAL INTENT OF LOT 2 FOR THE COVERED PARKING WILL INCLUDE A SCHEME THAT WILL MAINTAIN CONSISTENCY IN CHARACTER AND DESIGN OR A COMPLEMENTARY LOOK OF THE SURROUNDING AREA.

FENCE
THE PERIMETER OF LOT 2 WITH 6' HIGH CHAINLINK FENCE WITH SLATS. THE FENCE WILL MATCH THE FENCE INSTALLED WITH THE LOT 1 DEVELOPMENT.

SETBACKS
PRINCIPAL BUILDING SETBACKS SHALL BE AS STATED IN THE FIRESTONE DEVELOPMENT REGULATIONS.

LAND USES
THE LAND USE FOR LOT 2 19 & 26 CROSSINGS FDP IS PER THE 19 & 26 CROSSINGS ODP AMENDMENT, FORMERLY KNOWN AS LOT 1, MOUNTAIN VISTAS. THE ZONING OF LOT 2 IS U.

DEVELOPMENT SCHEDULE
A BUILDING PERMIT APPLICATION IS PROJECTED TO BE SUBMITTED FOLLOWING APPROVAL OF THE LOT 2 19 & 26 CROSSINGS FDP BY THE TOWN OF FIRESTONE.

CONSTRUCTION OF THE BUILDING IS PROJECTED WITHIN SIX (6) MONTHS OF THE FDP APPROVAL.

FENCING IS TO BE INSTALLED PRIOR TO ANY USE OF THE OUTDOOR STORAGE AREA.

IF A CERTIFICATE OF OCCUPANCY IS NOT ISSUED FOR THIS FDP BY DECEMBER 31, 2022, THEN THIS FDP IS NULL AND VOID.

CONSTRUCTION START: FIRST QUARTER, 2020

SIGN PROGRAM
A MONUMENT SIGN WILL BE INSTALLED AT THE PROJECT ENTRANCE OFF THE ACCESS FROM ZINNIA BLVD. ALL SIGNAGE MUST CONFORM TO THE FIRESTONE SIGN CODE.

BUILDING ADDRESS
THE PHYSICAL ADDRESS FOR THE PROPERTY IS: TBD BY TOWN OF FIRESTONE,, FIRESTONE, CO 80504

WATER DEDICATION
WATER DEDICATION WAS DETERMINED BASED ON INFORMATION PROVIDED BY THE APPLICANT. THE TOTAL AMOUNT OF CBT WATER TO BE DEDICATED TO THE TOWN WAS CALCULATED BASED ON ACRES OF IRRIGATED LANDSCAPING ON THE SITE AND TOTAL ESTIMATED DOMESTIC (N-BUILDING) DEMAND. THE TOWN SHALL AT ALL TIMES HAVE THE RIGHT TO REQUIRE ADDITIONAL WATER DEDICATION IF ACTUAL CONSUMPTION EXCEEDS THIS CALCULATED ESTIMATE. IF THE TOWN DETERMINES THAT ADDITIONAL CBT WATER IS TO BE DEDICATED THE LOT OWNER SHALL PROVIDE THE WATER WITHIN 30 DAYS WRITTEN NOTICE BY THE TOWN. THE ADDITIONAL DEDICATION SHALL BE BASED ON THE TOWN'S THEN CURRENT WATER DEDICATION POLICIES.

THE TOWN OF FIRESTONE HAS DETERMINED THAT THE REQUIRED CBT DEDICATION TO BE:

IRRIGATION DEMAND = ____SHARES

DOMESTIC DEMAND = ____SHARES

A TOTAL OF ____SHARES SHALL BE TRANSFERRED TO THE TOWN PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS

ENVIRONMENTAL IMPACT MITIGATION
THERE ARE NO NEW/ADDITIONAL OIL OR GAS FACILITIES PLANNED ON THIS SITE. THERE IS AN ABANDONED/PLUGGED OIL/GAS WELL ONSITE. STORM WATER DRAINAGE AND MANAGEMENT WILL BE PER THE LOT 1 FINAL DRAINAGE REPORT.

A PHASE I ENVIRONMENTAL STUDY HAS BEEN SUBMITTED TO THE TOWN OF FIRESTONE FOR THIS PROJECT.

FIRESTONE INFORMATION BLOCK

TEXT NARRATIVE

NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A

SHEET 2 OF 16

DRAWN FOR:
19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
TEXT NARRATIVE
FIRESTONE CO

WERNSMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ertw@wlengineer.com

DRAWN

CHECKED

DATE
03/12/2021

SCALE

AS SHOWN

PROJECT #
SWABBCO STORAGE

SHEET

C2

2 OF 16 SHEETS

FINAL DEVELOPMENT PLAN
SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 3 OF 16



Know what's below.
Call before you dig.

GENERAL NOTES – CONSTRUCTION

- ALL CONSTRUCTION SHALL CONFORM TO THE LATEST "DESIGN, STANDARDS, AND CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS" BY THE TOWN OF FIRESTONE. COPIES OF THE STANDARDS AND SPECIFICATIONS MAY BE OBTAINED FROM THE TOWN WEB SITE. CONTRACTOR SHALL HAVE A SET ON SITE AT ALL TIMES.
- THE OWNER SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE TOWN OF FIRESTONE ENGINEERING STAFF PRIOR TO THE START OF CONSTRUCTION. THOSE IN ATTENDANCE SHALL INCLUDE THE OWNER, HIS ENGINEER, THE TOWN ENGINEERING STAFF, REPRESENTATIVES OF THE CONTRACTORS AND OTHER AFFECTED AGENCIES. PLANS SIGNED AND ACCEPTED BY THE TOWN WILL BE DISTRIBUTED AT THE PRE- CONSTRUCTION MEETING. CONTRACTOR SHALL HAVE (1) COPY OF THE SIGNED PLANS ON SITE AT ALL TIMES.
- THE TOWN OF FIRESTONE, THROUGH ACCEPTANCE OF THIS DOCUMENT, ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT. THE OWNER AND DESIGN ENGINEER UNDERSTAND THAT THE RESPONSIBILITY FOR THE ENGINEERING ADEQUACY OF THE FACILITIES DEPICTED IN THIS DOCUMENT LIES SOLELY WITH THE REGISTERED PROFESSIONAL ENGINEER WHOSE STAMP AND SIGNATURE ARE AFFIXED TO THIS DOCUMENT. REPORT ALL DISCREPANCIES TO THE DESIGN ENGINEER IMMEDIATELY.
- PRIOR TO BEGINNING THE WORK, THE CONTRACTOR SHALL OBTAIN ANY/ALL WRITTEN AGREEMENTS FOR INGRESS AND EGRESS TO THE WORK SITE FROM ADJACENT PRIVATE PROPERTY OWNERS. A COPY OF ALL AGREEMENTS SHALL BE PROVIDED TO THE TOWN. ACCESS TO ANY ADJACENT PRIVATE PROPERTY SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE TOWN ENGINEERING STAFF. THE TOWN RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO TOWN STANDARDS AND SPECIFICATIONS. INSPECTIONS AND ONSITE VISITS ARE NOT TO BE CONSTRUED AS A GUARANTEE BY THE TOWN ENGINEERING STAFF OF THE CONTRACTORS' CONTRACTUAL COMMITMENT. REQUESTS FOR INSPECTION BY THE TOWN SHALL BE MADE BY THE CONTRACTOR A MINIMUM OF TWENTY-FOUR (24) HOURS IN ADVANCE.
- CONSTRUCTION WATER IS AVAILABLE TO THE CONTRACTOR AS ESTABLISHED IN THE TOWN STANDARDS AND SPECIFICATIONS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE TOWN REGARDING CURRENT REGULATIONS, FEES AND REQUIRED AGREEMENTS RELATED TO THE PROVISION OF CONSTRUCTION WATER.
- THE CONTRACTOR SHALL COORDINATE HIS ACTIVITIES WITH THE AFFECTED UTILITY COMPANIES AND SHALL NOTIFY THE UTILITY NOTIFICATION CENTER, PHONE NUMBER 811, THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.
- UTILITIES IN THE AREA OF CONSTRUCTION ARE APPROXIMATE ONLY. THEY HAVE BEEN LOCATED FROM FIELD INVESTIGATION AND THE BEST AVAILABLE UTILITY RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION, PROTECTION AND REPAIR OF ALL UTILITIES ENCOUNTERED DURING CONSTRUCTION WHETHER SHOWN ON THESE PLANS OR NOT. THE CONTRACTOR SHALL CONTACT ALL RESPECTIVE UTILITIES AND HAVE ALL UTILITIES FIELD-LOCATED PRIOR TO CONSTRUCTION. IF ANY UNKNOWN SUBSURFACE STRUCTURES ARE ENCOUNTERED DURING CONSTRUCTION, IT SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE TOWNENGINEERING STAFF AND DESIGN ENGINEER PRIOR TO PROCEEDING.
- THE CONTRACTOR SHALL NOTIFY TOWN ENGINEERING STAFF OF ANY PROBLEM IMPACTING WATER AND WASTE WATER FACILITIES THAT WOULD POTENTIALLY REQUIRE A VARIANCE FROM THE APPROVED PLANS AND SPECIFICATIONS. ANY VARIANCE FROM THE APPROVED DOCUMENTS SHALL BE AT THE SOLE DISCRETION OF THE TOWN ENGINEERING STAFF.
- CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE SPECIFICATIONS AND PERMITS NECESSARY TO PERFORM THE PROPOSED WORK.
- AS-BUILT DRAWINGS AS REQUIRED IN THE SPECIFICATIONS, ARE TO BE SUBMITTED BY THE OWNER/DEVELOPER PRIOR TO INITIAL ACCEPTANCE OF THE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ANY EXISTING SIGNS, STRUCTURES, FENCES, ETC., ENCOUNTERED ON THE JOB AND RESTORING THEM TO THEIR ORIGINAL CONDITION.
- THE CONTRACTOR IS RESPONSIBLE FOR:
 - NOTIFYING THE TOWN UTILITY CUSTOMERS OF POTENTIAL SERVICE OUTAGES, AND COORDINATE WITH THE TOWN FOR DETERMINATION OF MINIMUM TIME REQUIREMENT.
 - NOTIFYING THE TOWN ENGINEERING STAFF IF WORK IS SUSPENDED FOR ANY PERIOD OF TIME AFTER INITIAL START-UP. THE CONTRACTOR SHALL NOTIFY THE TOWN FORTY-EIGHT (48) HOURS PRIOR TO RESTART.
 - IN THE EVENT OF AN AFTER HOURS EMERGENCY, CALL 720-652-4222.
 - NOTIFYING THE FREDERICK FIRESTONE FIRE PROTECTION DISTRICT OF ALL STREET CLOSURES AND EXISTING FIRE HYDRANTS TAKEN OUT OF SERVICE A MINIMUM OF FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION.
- PRIOR TO INSTALLATION OF UTILITY MAINS, ROAD CONSTRUCTION MUST HAVE COMPLETED THE OVER LOT GRADING STAGE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. A CONSTRUCTION DEWATERING PERMIT MUST BE OBTAINED FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE). GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS OR EROSION OF ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. THE USE OF ANY SANITARY SEWER TO DISPOSE OF TRENCH WATER WILL NOT BE PERMITTED. NO CONCRETE SHALL BE PLACED WHERE GROUNDWATER IS VISIBLE OR UNTIL THE GROUNDWATER TABLE HAS BEEN LOWERED BELOW THE PROPOSED IMPROVEMENTS. ANY UNSTABLE AREAS, AS A RESULT OF GROUNDWATER, ENCOUNTERED DURING THE CONSTRUCTION OF THE PROPOSED IMPROVEMENTS SHALL BE STABILIZED AS AGREED UPON BY THE CONTRACTOR, THE TOWN, AND THE DESIGN ENGINEER AT THE TIME OF THE OCCURRENCE.
- IT SHALL BE THE RESPONSIBILITY OF THE DESIGN ENGINEER TO RESOLVE CONSTRUCTION PROBLEMS WITH THE TOWN DUE TO CHANGED CONDITIONS ENCOUNTERED BY THE CONTRACTOR DURING THE PROGRESS OF ANY PORTION OF THE PROPOSED WORK. IF, IN THE OPINION OF THE TOWN, PROPOSED ALTERATIONS TO THE SIGNED CONSTRUCTION PLANS INVOLVES SIGNIFICANT CHANGES TO THE CHARACTER OF THE WORK, OR TO THE FUTURE CONTIGUOUS PUBLIC OR PRIVATE IMPROVEMENTS, THE DESIGN ENGINEER SHALL BE RESPONSIBLE FOR SUBMITTING REVISED PLANS TO THE TOWN FOR REVIEW AND ACCEPTANCE, PRIOR TO ANY FURTHER CONSTRUCTION RELATED TO THAT PORTION OF THE WORK.
- DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN, OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND IS NOT LIMITED TO NORMAL WORKING HOURS. THE TOWN OR THE DESIGN ENGINEER EXERCISE NO CONTROLS OVER THE SAFETY OR ADEQUACY OF ANY EQUIPMENT, BUILDING COMPONENTS, SCAFFOLDING, FORMS OR OTHER WORK AIDS USED IN OR ABOUT THE PROJECT, OR IN THE SUPERINTENDING OF THE SAME. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER, THE DESIGN ENGINEER, OR THE TOWN. THE TOWN ENGINEERING STAFF, OR ANY CONTRACTED ENGINEER, ARE NOT RESPONSIBLE FOR SAFETY IN, ON OR ABOUT THE PROJECT SITE, NOR FOR COMPLIANCE BY THE APPROPRIATE PARTY OF ANY REGULATIONS RELATING THERETO.
- WORK IN PUBLIC STREETS, ONCE BEGUN, SHALL BE PROSECUTED TO COMPLETION WITHOUT DELAY SO AS TO PROVIDE MINIMUM INCONVENIENCE TO ADJACENT PROPERTY OWNERS AND TO THE TRAVELING PUBLIC.
- REGULAR WORK HOURS ARE SEVEN (7) A.M. UNTIL SEVEN (7) P.M. OR DUSK (WHICHEVER OCCURS FIRST) OF THE SAME DAY, MONDAY THROUGH FRIDAY. THE CONTRACTOR WILL NOT PERMIT OVERTIME WORK OUTSIDE OF REGULAR WORKING HOURS OR THE PERFORMANCE OF WORK ON SATURDAY, SUNDAY OR ANY LEGAL HOLIDAY WITHOUT RECEIVING WRITTEN CONSENT FROM THE TOWN ENGINEER. REQUESTS FOR WEEKEND WORK APPROVAL MUST BE SUBMITTED, IN WRITING TO THE TOWN NO LATER THAN WEDNESDAYS AT 3:30PM FOR SUBSEQUENT WEEKEND AND REQUESTS FOR HOLIDAY WORK APPROVAL MUST BE SUBMITTED, IN WRITING TO THE TOWN NO LATER THAN 7:00AM-2 BUSINESS DAYS PRIOR TO THE HOLIDAY. ALL EXPENSES INCURRED BY THE TOWN SHALL BE REMBURSED AT A RATE TO BE DETERMINED BY DIRECTOR OF FINANCE.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY OCCUR FROM STORM WATER RUNOFF AND/OR DEPOSITION OF DEBRIS RESULTING FROM ANY AND ALL WORK. THE OWNER/CONTRACTOR IS RESPONSIBLE FOR OBTAINING A STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FOR ANY PROJECT DISTURBING OVER ONE ACRE FROM BOTH THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND THE TOWN.
- EACH TYPE OF CONSTRUCTION SHALL BE COMPLETED BY A CONTRACTOR THAT HAS DEMONSTRATED ACCEPTABLE QUALIFICATIONS TO THE TOWN AND IS A LICENSED CONTRACTOR IN THE TOWN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL DURING CONSTRUCTION. ALL TRAFFIC CONTROLS SHALL CONFORM TO THE TOWN STANDARDS AND SPECIFICATIONS AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD) LATEST EDITIONS. A PLAN SHALL BE SUBMITTED TO THE TOWN FOR REVIEW AND ACCEPTANCE PRIOR TO CONSTRUCTION.
- ALL BACKFILL SHALL CONFORM TO THE TRENCH DETAIL LOCATED IN THE TOWN STANDARDS & SPECIFICATIONS.
- THE CONTRACTOR SHALL IMMEDIATELY REMOVE ANY CONSTRUCTION DEBRIS OR MUD TRACKED ONTO EXISTING ROADWAYS.
- THE CONTRACTOR SHALL REPAIR ANY EXCAVATION OR PAVEMENT FAILURES CAUSED BY HIS CONSTRUCTION.
- THE CONTRACTOR SHALL RENEW OR REPLACE ANY EXISTING TRAFFIC STRIPING AND/OR PAVEMENT MARKINGS, WHICH HAVE BEEN EITHER REMOVED OR THE EFFECTIVENESS OF WHICH HAS BEEN REDUCED DURING HIS OPERATION. RENEWAL OF PAVEMENT STRIPING AND MARKING SHALL BE DONE IN CONFORMANCE WITH THE TOWN STANDARD SPECIFICATIONS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE EVERY MEASURE NECESSARY TO COMPLY WITH ANY STATE, COUNTY OR TOWN DUST CONTROL ORDINANCE.
- CONSTRUCTION VEHICLES SHALL USE TRUCK ROUTES DESIGNATED BY THE TOWN. OVERSIZE AND/OR OVERWEIGHT VEHICLES REQUIRE AN OVERWEIGHT VEHICLE PERMIT FROM THE TOWN PRIOR TO TRAVELLING ON TOWN STREETS.
- THE OWNER/DEVELOPER WILL BE HELD RESPONSIBLE FOR THE PROPER FUNCTIONING OF THE IMPROVEMENTS FOR A MINIMUM OF TWO (2) YEARS FROM THE DATE OF INITIAL ACCEPTANCE OF THE IMPROVEMENTS BY THE TOWN. ANY FAILURE DURING THIS PERIOD OF GUARANTEE SHALL BE REMEDIED BY THE OWNER/CONTRACTOR TO THE SATISFACTION OF THE TOWN AT NO EXPENSE TO THE TOWN.
- THE SOILS ENGINEER SHALL PERFORM SUFFICIENT INSPECTIONS DURING GRADING AND CONSTRUCTION SO THAT AN OPINION CAN BE RENDERED AND VERIFIED IN WRITING AS TO COMPLIANCE WITH THE PLANS AND CODES WITHIN THE SOILS ENGINEER'S PURVIEW.

GENERAL NOTES – GRADING

- ALL CONSTRUCTION ACTIVITIES THAT DISTURBS ONE OR MORE ACRES OF LAND, AS WELL AS ACTIVITIES THAT DISTURB LESS THAN ONE ACRE OF LAND, BUT IS PART OF A LARGER COMMON PLAN OF DEVELOPMENT, MUST COMPLY WITH BOTH LOCAL AND STATE REGULATIONS REGARDING STORMWATER DRAINAGE ON CONSTRUCTION SITES. OWNERS OR CONTRACTORS MUST OBTAIN A COLORADO STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES FROM THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AND A STORMWATER QUALITY PERMIT FROM THE TOWN OF FIRESTONE. OWNERS AND OPERATORS SHALL:
 - MAINTAIN A COPY OF THE STORM WATER MANAGEMENT PLAN (SWMP) ONSITE AT ALL TIMES, THOUGH A DIGITAL COPY WILL SUFFICE. THE SWMP MUST BE MAINTAINED AND MADE AVAILABLE TO TOWN INSPECTORS UPON REQUEST.
- INSTALL AND MAINTAIN EROSION, SEDIMENT, AND MATERIALS MANAGEMENT CONTROL BMPS AS SPECIFIED IN THE SWMP.
- INSPECT ALL BEST MANAGEMENT PRACTICES (BMPS) AT LEAST EVERY SEVEN (7) DAYS OR EVERY FOURTEEN (14) DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY PRECIPITATION OR SNOWMELT EVENT THAT CAUSES SURFACE RUNOFF.
- MAINTAIN INSPECTION AND MAINTENANCE RECORDS OF BMPS ONSITE WITH THE SWMP. COPIES OF THESE REPORTS SHALL BE PROVIDED TO THE TOWN ENGINEERING STAFF.
- BASED ON INSPECTIONS PERFORMED BY THE PERMIT HOLDER OR BY TOWN PERSONNEL, MODIFICATIONS TO THE SWMP WILL BE NECESSARY IF AT ANY TIME THE SPECIFIED BMPS DO NOT MEET THE OBJECTIVES OF THE PERMIT. ALL MODIFICATIONS SHALL BE COMPLETED AS SOON AS PRACTICABLE AFTER THE REFERENCED INSPECTION, AND SHALL BE RECORDED ON THE OWNER'S COPY OF THE SWMP.
- THE OPERATOR SHALL AMEND THE SWMP WHENEVER THERE IS A MINOR CHANGE TO ADDRESS A SPECIFIED CONTROL MEASURE THAT DOES NOT MEET THE REQUIREMENTS OF THE STORMWATER QUALITY PERMIT. SIGNIFICANT CHANGES IN DESIGN, CONSTRUCTION, OPERATION, OR MAINTENANCE, WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR DISCHARGE OF POLLUTANTS TO THE RECEIVING WATERS, OR IF THE SWMP PROVES TO BE INEFFECTIVE IN ACHIEVING THE GENERAL OBJECTIVES OF CONTROLLING POLLUTANTS IN STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES, A REVISED SWMP SHALL BE SUMITTED TO THE TOWN ENGINEER.
- INSTALLATION AND MAINTENANCE OF BMPS SHALL BE SUPERVISED BY PERSONNEL CERTIFIED IN EROSION AND SEDIMENT CONTROL..
- SITE GRADING (EXCAVATION, EMBANKMENT, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST SOILS INVESTIGATION FOR THIS PROPERTY AND SHALL FURTHER BE IN CONFORMANCE WITH THE TOWN OF FIRESTONE "DESIGN STANDARDS AND CONSTRUCTION SPECIFICATIONS OF PUBLIC IMPROVEMENTS", LATEST EDITION.
- ALL GRADING AND FILLING OPERATIONS SHALL BE OBSERVED, INSPECTED AND TESTED BY A LICENSED SOILS ENGINEER. ALL TEST RESULTS SHALL BE SUBMITTED TO THE TOWN ENGINEERING STAFF.
- NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED WHEREVER POSSIBLE. EXPOSURE OF SOIL TO EROSION BY REMOVAL OR DISTURBANCE OF VEGETATION SHALL BE LIMITED TO THE AREA REQUIRED FOR IMMEDIATE CONSTRUCTION OPERATION AND FOR THE SHORTEST PRACTICAL PERIOD OF TIME. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO AVOID ANY DAMAGE TO EXISTING FOLIAGE THAT LIES IN THE PROJECT AREA UNLESS DESIGNATED FOR REMOVAL AND SHALL BE LIABLE FOR SUCH DAMAGE AT HIS/HER EXPENSE.

GENERAL NOTES – GRADING (CONTINUED)

- TOPSOIL SHALL BE STOCKPILED TO THE EXTENT PRACTICABLE ON THE SITE FOR USE ON AREAS TO BE RE-VEGETATED. ANY AND ALL STOCKPILES SHALL BE LOCATED AND PROTECTED FROM EROSION ELEMENTS.
- TEMPORARY VEGETATION SHALL BE INSTALLED ON ALL DISTURBED AREAS WHERE PERMANENT SURFACE IMPROVEMENTS ARE NOT SCHEDULED FOR IMMEDIATE INSTALLATION. SEEDING WILL BE DONE ACROSS THE SLOPE FOLLOWING THE CONTOURS. VEGETATION SHALL CONFORM TO THE TOWN STANDARDS AND SPECIFICATIONS. PROJECT SCHEDULING SHOULD TAKE ADVANTAGE OF SPRING OR FALL PLANTING SEASONS FOR NATURAL GERMINATION. SEEDED AREAS SHALL BE IRRIGATED IN ACCORDANCE WITH THE TOWN STANDARDS AND SPECIFICATIONS.
- AT ALL TIMES, A WATER TRUCK SHALL BE ON-SITE AND THE PROPERTY SHALL BE MAINTAINED AND/OR WATERED TO PREVENT WIND-CAUSED EROSION. EARTHWORK OPERATIONS SHALL BE DISCONTINUED WHEN FUGITIVE DUST SIGNIFICANTLY IMPACTS ADJACENT PROPERTY. IF EARTHWORK IS COMPLETE OR DISCONTINUED AND DUST FROM THE SITE CONTINUES TO CREATE PROBLEMS, THE OWNER/DEVELOPER SHALL IMMEDIATELY INSTITUTE MITIGATIVE MEASURES AND SHALL CORRECT DAMAGE TO ADJACENT PROPERTY.
- FILL SLOPES SHALL BE COMPACTED BY MEANS OF SHEEPSFOOT COMPACTOR OR OTHER SUITABLE EQUIPMENT. COMPACTING SHALL CONTINUE UNTIL SLOPES ARE STABLE AND THERE IS NOT AN APPRECIABLE AMOUNT OF LOOSE SOIL ON THE SLOPES.
- TEMPORARY CUT/FILL SLOPES SHALL ABIDE BY THE SOILS REPORT. PERMANENT SLOPES SHALL BE AS SHOWN ON PLANS.
- DEPTH OF MOISTURE-DENSITY CONTROL SHALL BE FULL DEPTH ON ALL EMBANKMENT AND SIX (6) INCHES ON THE BASE OF CUTS AND FILLS.
- OUTLET SIDES OF ALL STORM PIPES SHALL BE GRADED TO DRAIN AND SHALL HAVE SUFFICIENT EROSION PROTECTION.
- THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE SITE GEOTECHNICAL ENGINEER WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS:
 - INITIAL INSPECTION WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO (2) DAYS BEFORE ANY GRADING OR GRUBBING IS STARTED.
 - AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT BEFORE FILL IS PLACED.
 - EXCAVATION INSPECTION AFTER THE EXCAVATION IS STARTED BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN (10) FEET.
 - FILL INSPECTION AFTER THE FILL PLACEMENT IS STARTED, BUT BEFORE THE FILL EXCEEDS TEN (10) FEET.
- TEMPORARY CUT/FILL SLOPES SHALL NOT BE STEEPER THAN 2:1 (2H:1V). PERMANENT SLOPES SHALL NOT BE STEEPER THAN 4:1 (4H:1V) IN AREAS TO BE SEEDED OR SOODED.

GENERAL NOTES – ROADWAY

- ALL STATIONING IS BASED ON CENTERLINE OF ROADWAYS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PREPARE THE SUBGRADE BY SCARIFYING THE UPPER ONE (1) FOOT OF THE SUBGRADE IN CUT AREAS OR AREAS WITH LITTLE OR NO FILL, UNLESS SPECIFIED IN THE SOILS REPORT. THE WORK SHALL CONFORM TO THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
- PAVEMENT SHALL NOT BE CONSTRUCTED UNTIL ALL UNDERGROUND UTILITIES HAVE BEEN INSTALLED, TESTED AND ACCEPTED BY THE TOWN OF FIRESTONE ENGINEERING STAFF.
- IT SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO SUPERVISE AND CERTIFY THAT PROPER COMPACTION HAS BEEN OBTAINED BY SUBCONTRACTORS AND AGENCIES CONCERNING UTILITY LINE BACKFILL INCLUDING, BUT NOT LIMITED TO, SEWER, WATER, ELECTRICAL, GAS AND LANDSCAPE IRRIGATION LINES AND ACCEPTED BY THE TOWN ENGINEERING STAFF AND THE SOILS ENGINEER.
 - STREET PAVING SHALL NOT START UNTIL:
 - A SOILS REPORT AND PAVEMENT DESIGN IS ACCEPTED BY THE TOWN ENGINEERING STAFF.
 - ALL STREETS ARE COMPACTED IN ACCORDANCE WITH THE SOILS REPORT AND THE TOWN SPECIFICATIONS.
 - ALL COMPACTION TEST REPORTS HAVE BEEN SUBMITTED TO THE TOWN ENGINEERING STAFF PRIOR TO PROOF ROLLS.
 - PROOF ROLLS ARE PERFORMED USING A LOADED SINGLE AXLE 2000 GALLON WATER TRUCK AND MONITORED BY THE TOWN ENGINEERING STAFF.
- THE OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING ALL UTILITY MANHOLE COVERS AND ACCESS LIDS TO GRADE.
- ALL CONCRETE SHALL BE A MINIMUM OF CLASS B, IN CONFORMANCE WITH CDOT STANDARDS.
- ALL CONCRETE EDGES MUST BE ROUNDED TO A FOURTH (1/4) INCH RADIUS, EXCEPT WHERE SHOWN OTHERWISE ON DRAWINGS.
- ONE HALF (1/2) INCH EXPANSION JOINTS SHALL BE INSTALLED AT ALL CURB RETURNS, CURB CUTS AND EXISTING STRUCTURES. CONTROL JOINTS SHALL BE INSTALLED PER THE TOWN STANDARDS AND SPECIFICATIONS.
- BEFORE PLACING OF ASPHALT THE SUBGRADE SHALL RECEIVE A GROUND STERILANT APPLIED AT A RATE IN ACCORDANCE TO MANUFACTURERS RECOMMENDATIONS.
- THE GRADATION OF THE MINERAL AGGREGATE WILL BE GRADING SX (1/2" NOMINAL) FOR ALL TOP LIFTS AND OVERLAYS.
- TACK COAT SHALL BE USED PRIOR TO OVERLAY. (CSS-1H), 50:50 DILUTION, 0.10 GAL/SY. ALL EDGES ABUTTING NEW PAVEMENT SHALL BE TACKED.
- WHEN IT IS REQUIRED TO MATCH EXISTING PAVEMENT, EXISTING PAVEMENT SHALL BE SAW CUT IN A MANNER TO AFFECT A SMOOTH, VERTICAL STRAIGHT CUT EDGE. T PATCH MILLING MUST BE DONE PER STANDARD DETAILS.
- ALL SAWCUT EDGES OF EXISTING PAVEMENT SHALL BE CLEAN AND COATED WITH TACK COAT PRIOR TO PLACING NEW PAVEMENT ADJACENT TO THE EXISTING PAVEMENT.
- ALL ASPHALT SHALL BE ONE FOURTH (1/4) INCH ABOVE CONCRETE EDGES, MANHOLE COVERS AND ACCESS LIDS.
- SIGNAGE AND STRIPING SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, THE COLORADO DEPARTMENT OF TRANSPORTATION M&S STANDARDS, AND THE TOWN STANDARDS.
- THE PURCHASE AND INSTALLATION OF STREET NAME SIGNS SHALL BE THE RESPONSIBILITY OF THE OWNER/CONTRACTOR. THE OWNER/CONTRACTOR SHALL SECURE THE APPROVAL OF THE TOWN ENGINEERING STAFF FOR TYPE AND LOCATION OF THE STREET NAME SIGNS PRIOR TO INSTALLATION.
- ALL NEW ROADWAY SECTIONS SHALL HAVE SUBGRADE PREPARATION AND INITIAL ASPHALT PAVEMENT PLACED WITH A 1% CROWN. FINAL OVERLAY IS TO BE PLACED WITH A 2% CROWN. SEE DETAIL ST7 IN THE "STANDARD DETAILS-STREET" FOR MORE INFORMATION.
- DETERMINATION OF CROWN FOR CUL DE SAC PAVING SHALL BE EVALUATED ON A CASE BY CASE BASIS.

DRAWN FOR:
19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS – FILING 1
GENERAL NOTES
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 639-2656
ert@wleengineering.com

FIRESTONE INFORMATION BLOCK	
GENERAL NOTES	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 3 OF 16	

DRAWN
CHECKED
DATE 03/12/2021
SCALE AS SHOWN
PROJECT # SWABBCO STORAGE
SHEET C3
3 OF 16 SHEETS

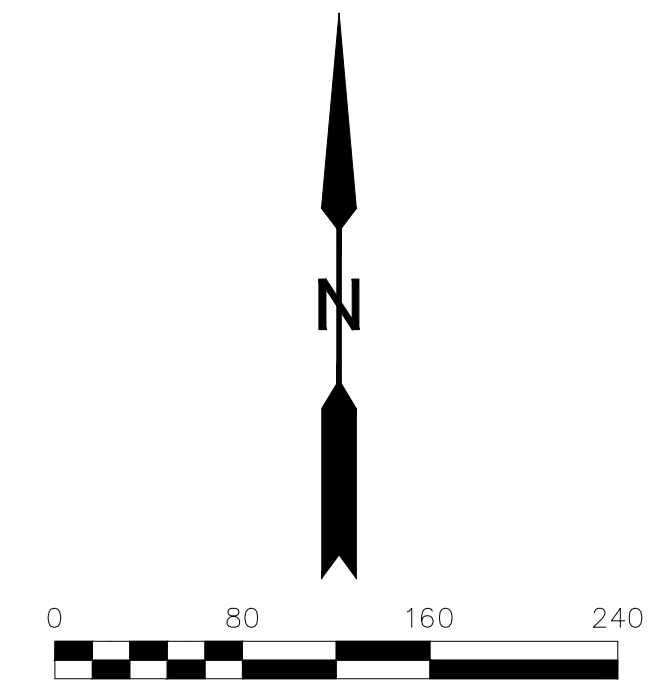
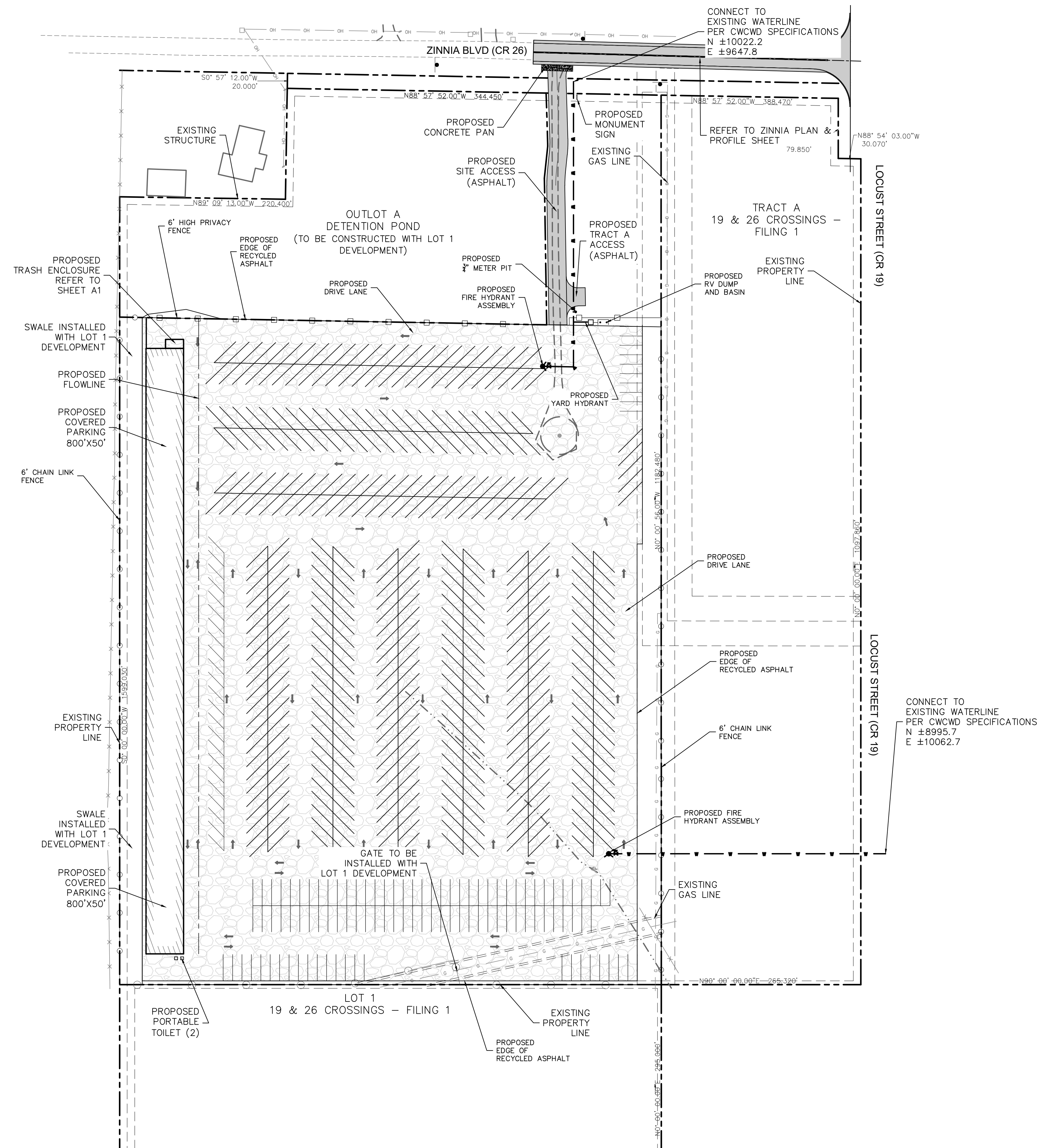
FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 4 OF 16



Know what's below.
Call before you dig.



PARKING
LOT 2 PROPOSED RV PARKING:
30' X 12.5': 31 SPACES
35' X 12.5': 97 SPACES
40' X 12.5': 403 SPACES
45' X 12.5': 4 SPACES
COVERED: 55 SPACES (APPROXIMATE)
TOTAL PROVIDED: 500 SPACES

FIRESTONE INFORMATION BLOCK	
SITE PLAN/OVERALL UTILITY PLAN	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 4 OF 16	

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
SITE PLAN/OVERALL UTILITY PLAN
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ertw@wengineer.com

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03/12/2021
SCALE
AS SHOWN
PROJECT #
SWABBCO STORAGE
SHEET
C4
4 OF 16 SHEETS

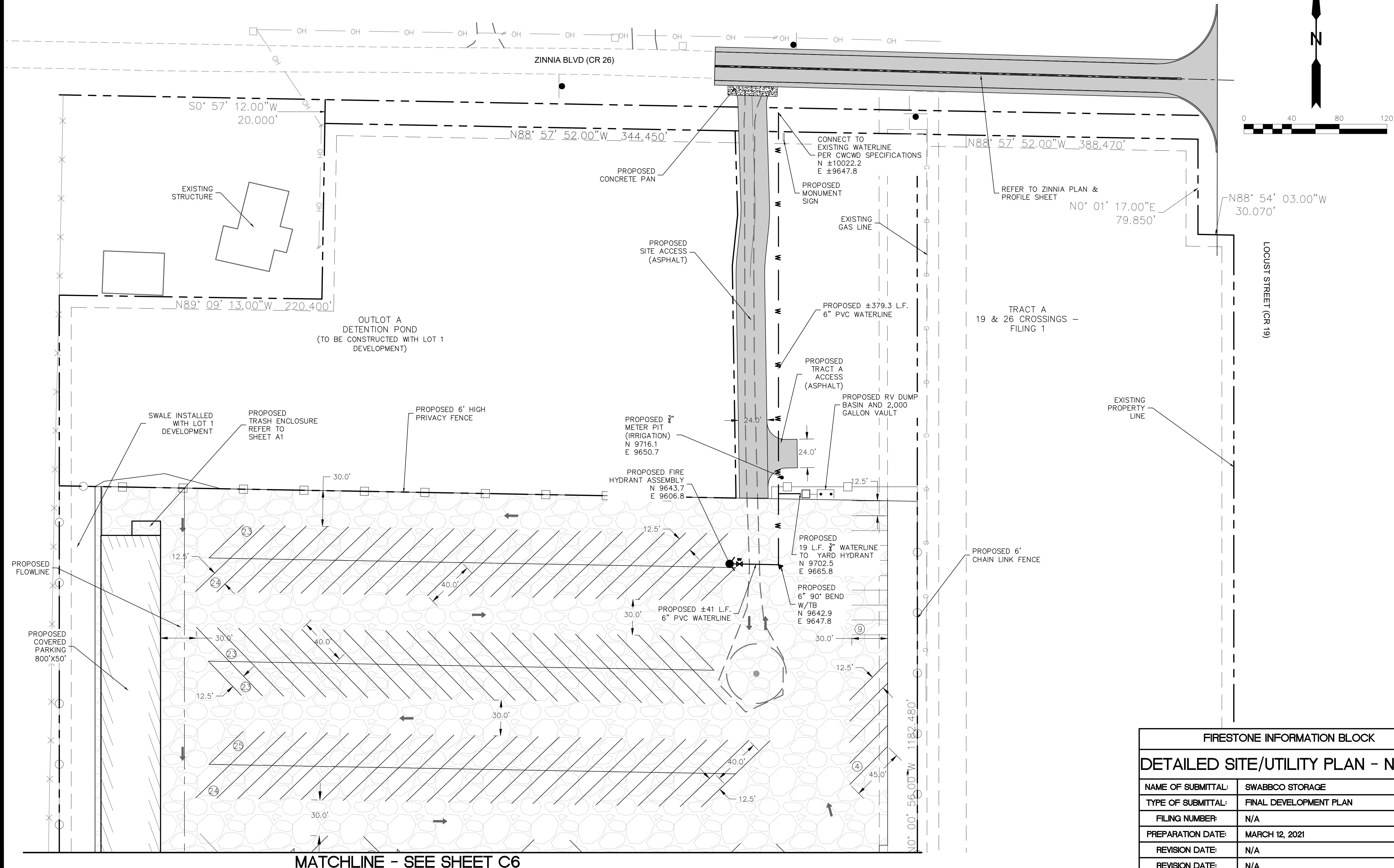
FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 5 OF 16



Know what's below.
Call before you dig.



FIRESTONE INFORMATION BLOCK	
DETAILED SITE/UTILITY PLAN - NORTH	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 5 OF 16	

DRAWN FOR:
19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
DETAILED SITE/UTILITY PLAN - NORTH
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ertcw@engineer.com

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PROJECT #
SWABBCO STORAGE
SHEET
C5
5 OF 16 SHEETS

FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

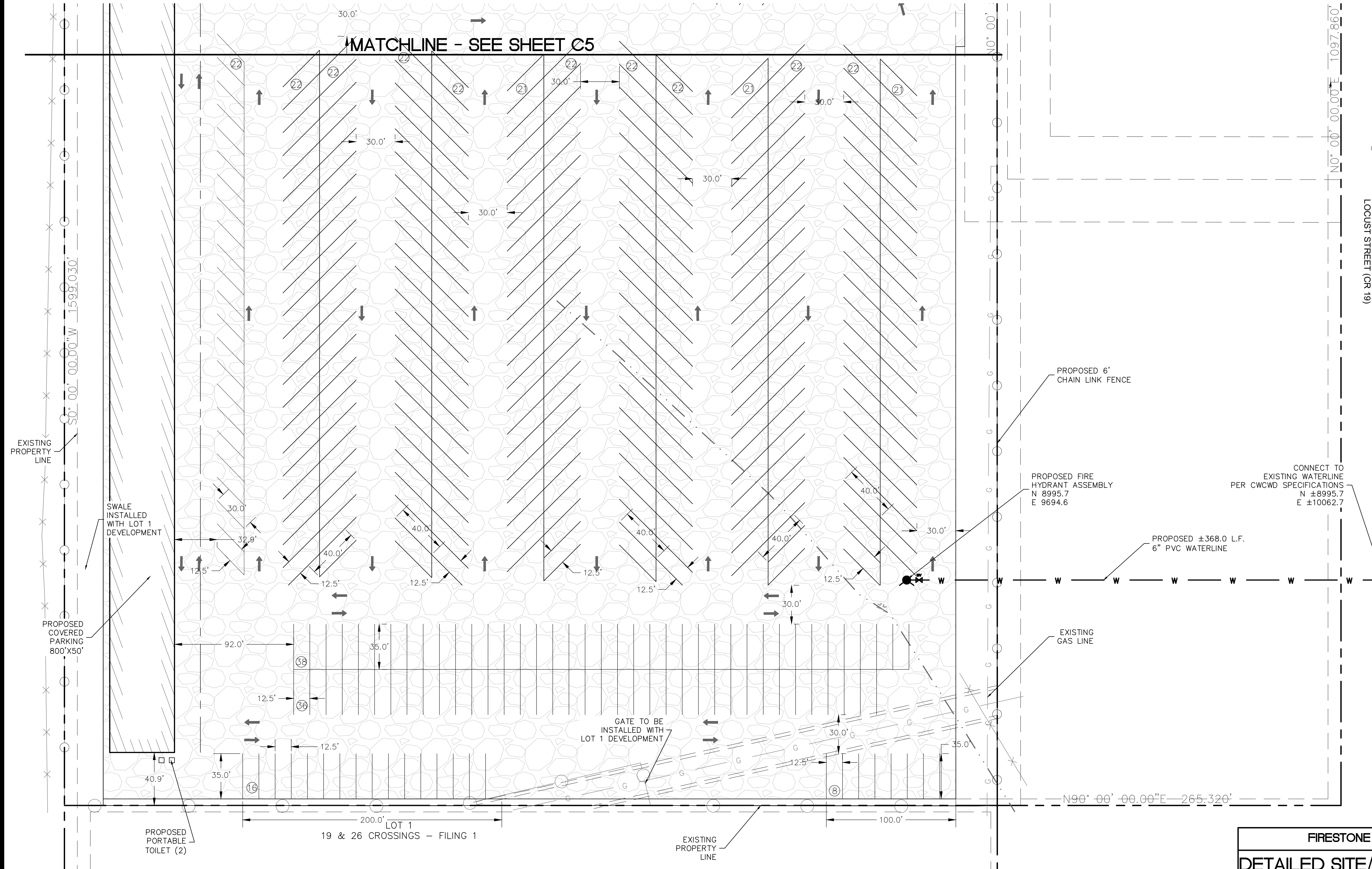
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 6 OF 16



Know what's below.
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LOCUST STREET (CR 19)



FIRESTONE INFORMATION BLOCK	
DETAILED SITE/UTILITY PLAN - SOUTH	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 6 OF 16	

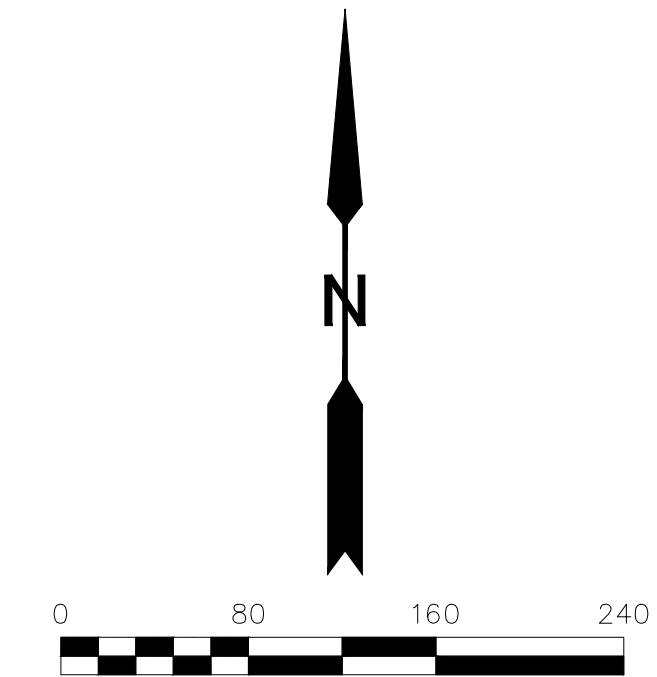
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19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
DETAILED SITE/UTILITY PLAN - SOUTH
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ertw@wernisman.com

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PROJECT #
SWABBCO STORAGE
SHEET
C6
6 OF 16 SHEETS

DRAWN FOR:
19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506



CONTRACTOR SHALL MATCH GRADING FROM LOT 1 CONSTRUCTION.

FIRESTONE INFORMATION BLOCK	
OVERALL GRADING PLAN	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 7 OF 16	

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
OVERALL GRADING PLAN
FIRESTONE CO

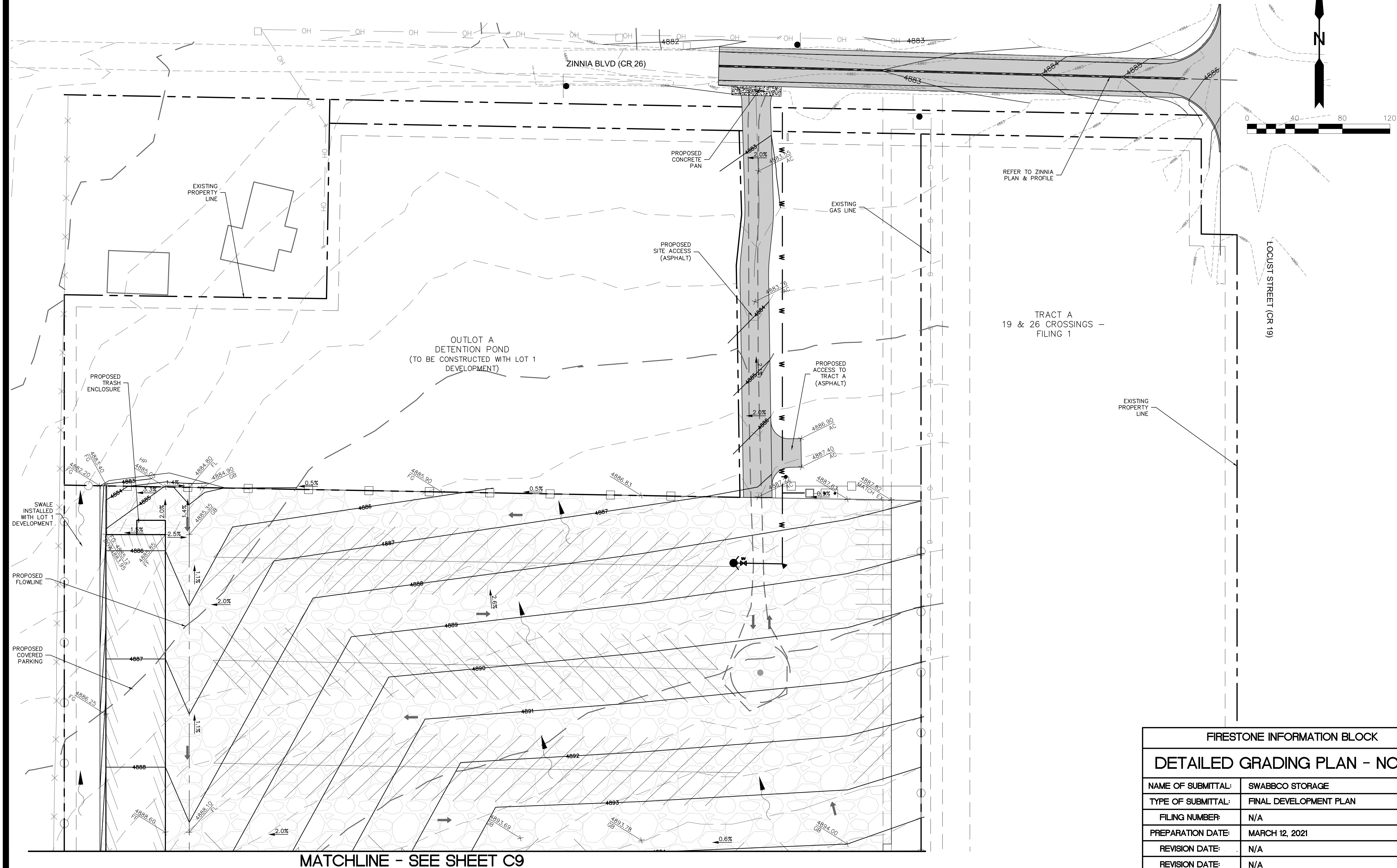
**WERNSMAN ENGINEERING
AND LAND DEVELOPMENT LLC**
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ericw@lengineer.com

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DATE 03/12/2021	
SCALE AS SHOWN	
PROJECT # SWABBCO STORAGE	
SHEET C7	
7 OF	16 SHEETS

FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 8 OF 16



Know what's below.
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FIRESTONE INFORMATION BLOCK	
DETAILED GRADING PLAN - NORTH	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 8 OF 16	

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
DETAILED GRADING PLAN - NORTH
FIRESTONE CO

WERNISMAN ENGINEERING
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16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ertw@wernisman.com

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PROJECT #
SWABBCO STORAGE
SHEET
C8
8 OF 16 SHEETS

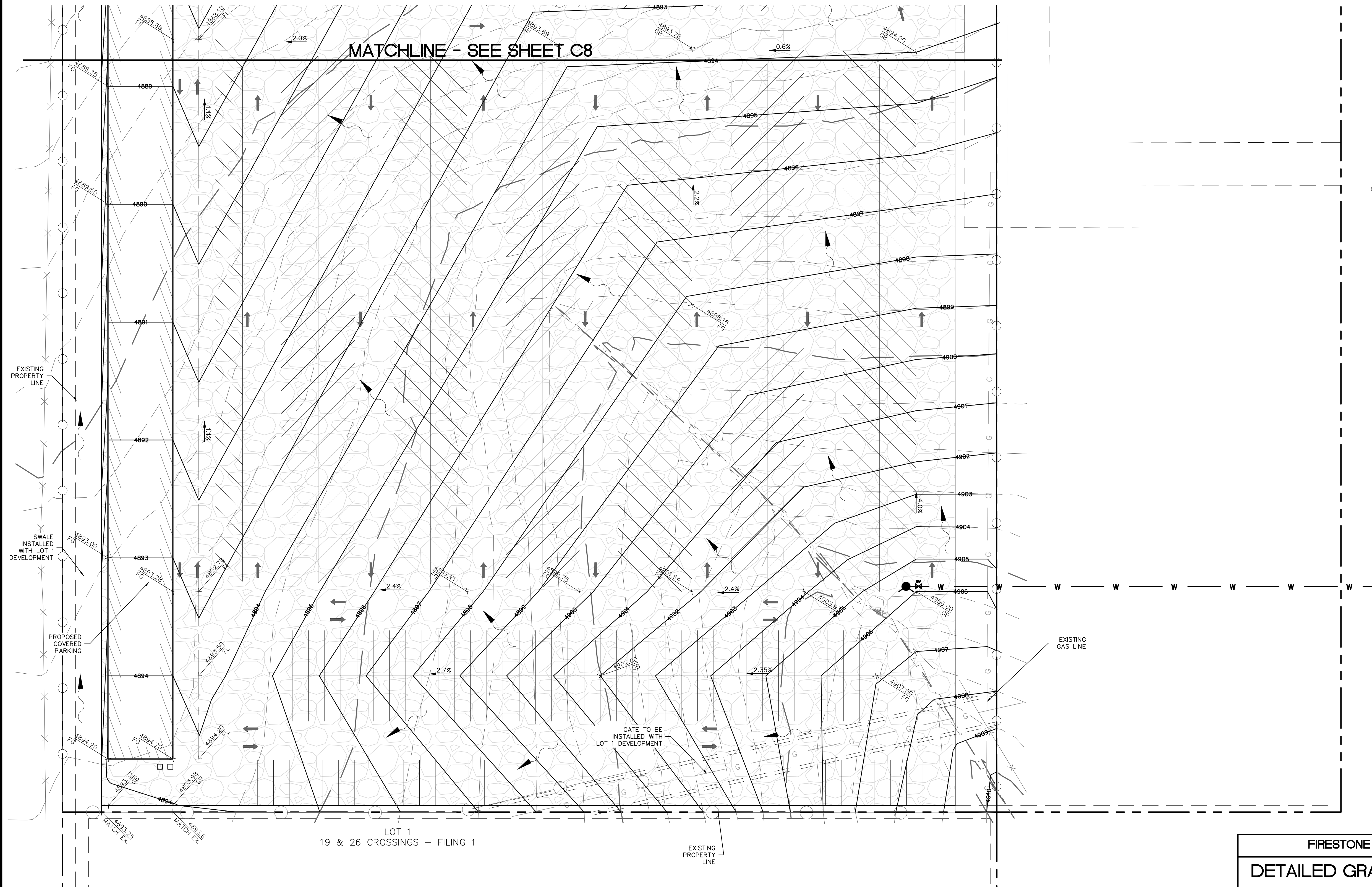
FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 9 OF 16



Know what's below.
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LOCUST STREET (CR 19)

FIRESTONE INFORMATION BLOCK

DETAILED GRADING PLAN - SOUTH

NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A

SHEET 9 OF 16

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19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
DETAILED GRADING PLAN - SOUTH
FIRESTONE CO

WERNISMAN ENGINEERING
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(970) 539-2656
ertw@wengineer.com

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03/12/2021

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PROJECT #

SWABBCO STORAGE

SHEET

C9

9 OF 16 SHEETS

FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD,
STATE OF COLORADO
SHEET 10 OF 16



Know what's below.
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PO BOX 745
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970-289-0506

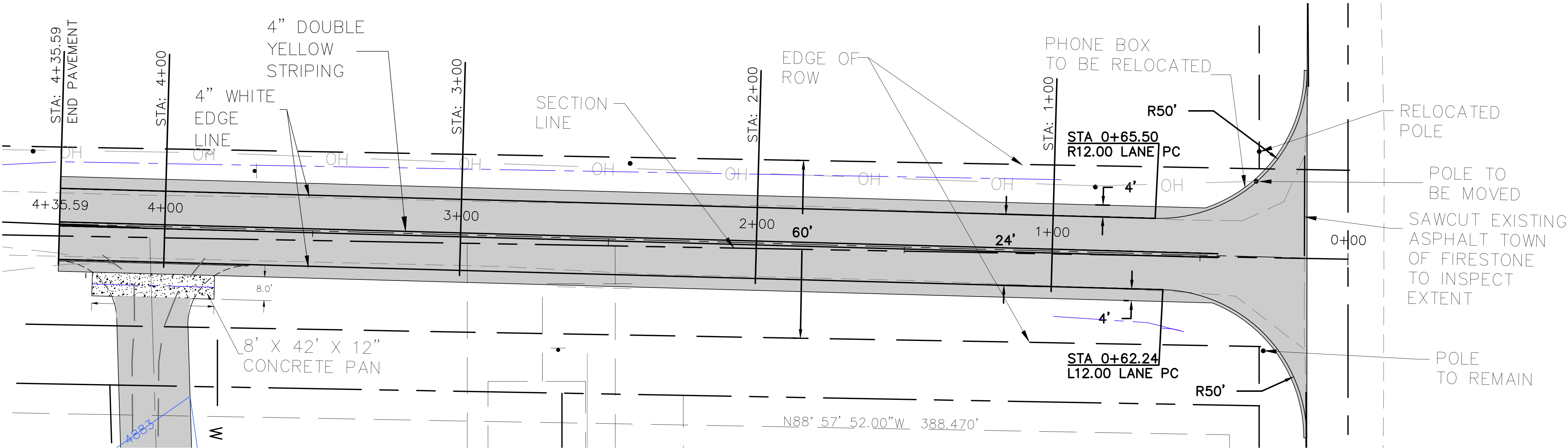
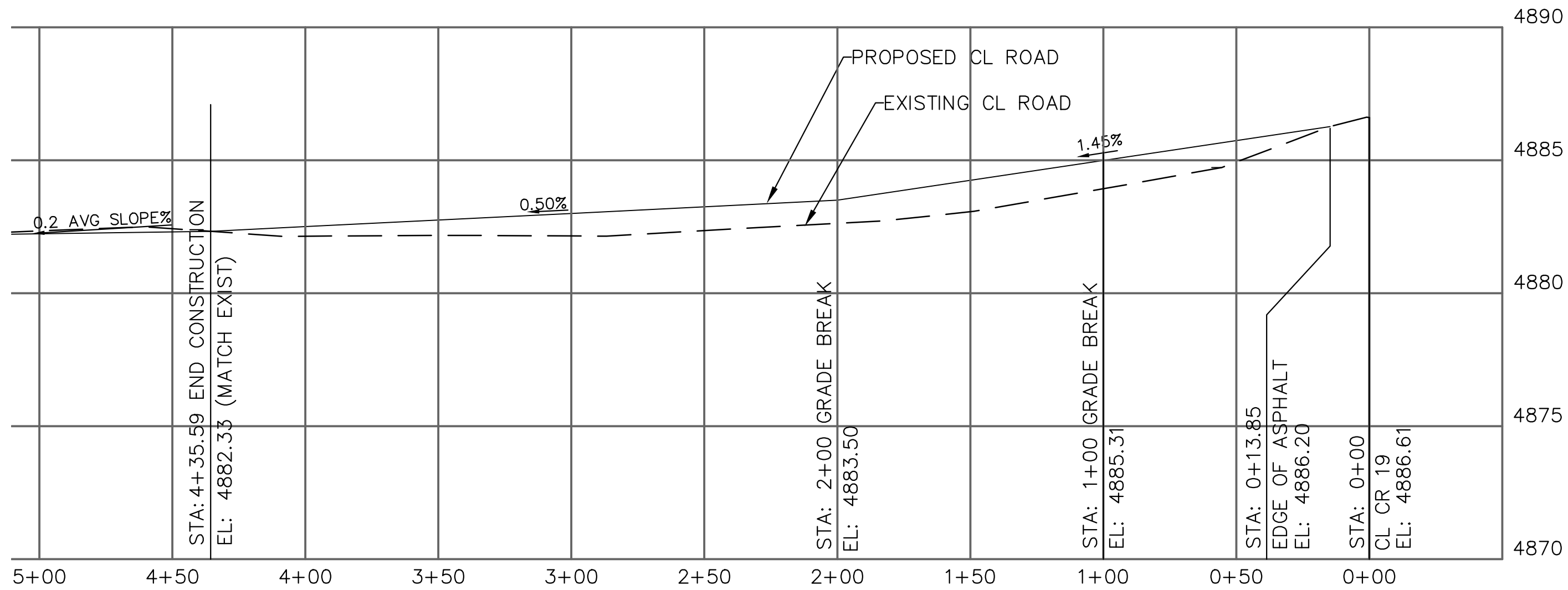
SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
ZINNIA BLVD. PLAN AND PROFILE
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16498 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ericw@wernisman.com

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AS SHOWN
PROJECT
SWABBCO STORAGE
SHEET
C10
10 OF 16 SHEETS

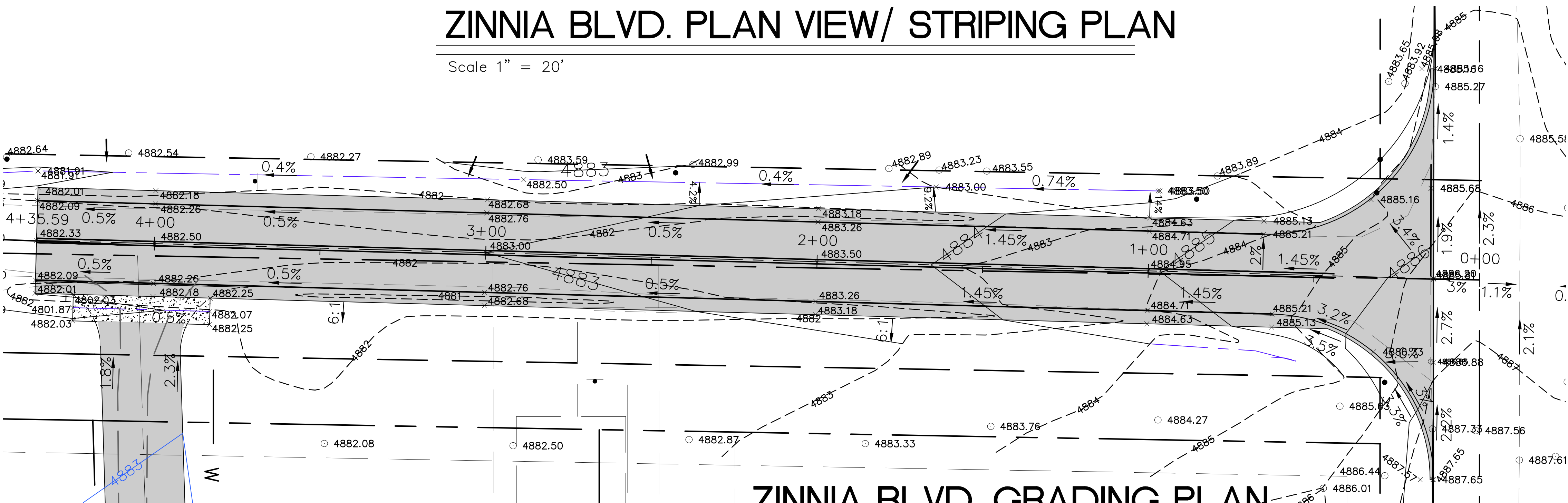
ZINNIA BLVD. PROFILE

Scale 1" = 40'



ZINNIA BLVD. PLAN VIEW/ STRIPING PLAN

Scale 1" = 20'



ZINNIA BLVD. GRADING PLAN

Scale 1" = 20'

FIRESTONE INFORMATION BLOCK

ZINNIA BLVD. PLAN AND PROFILE

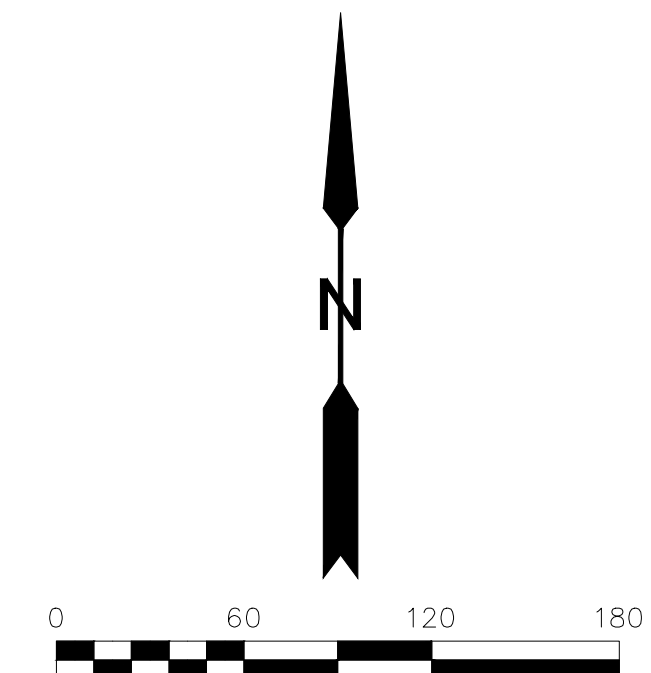
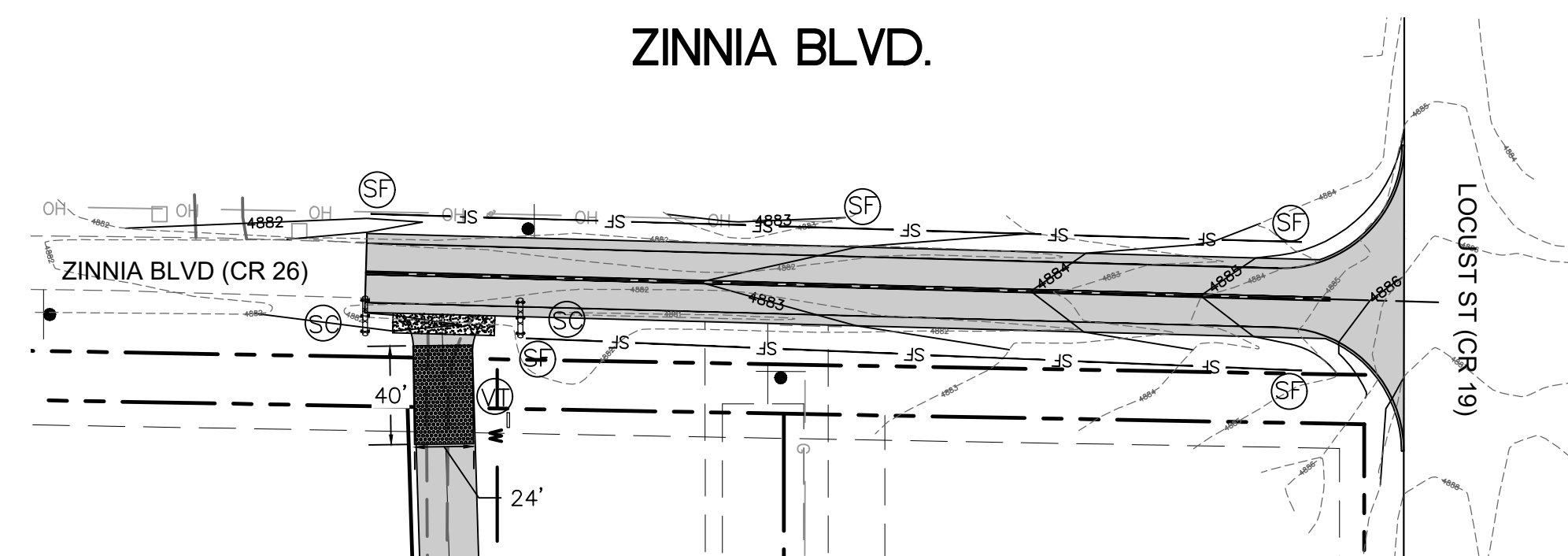
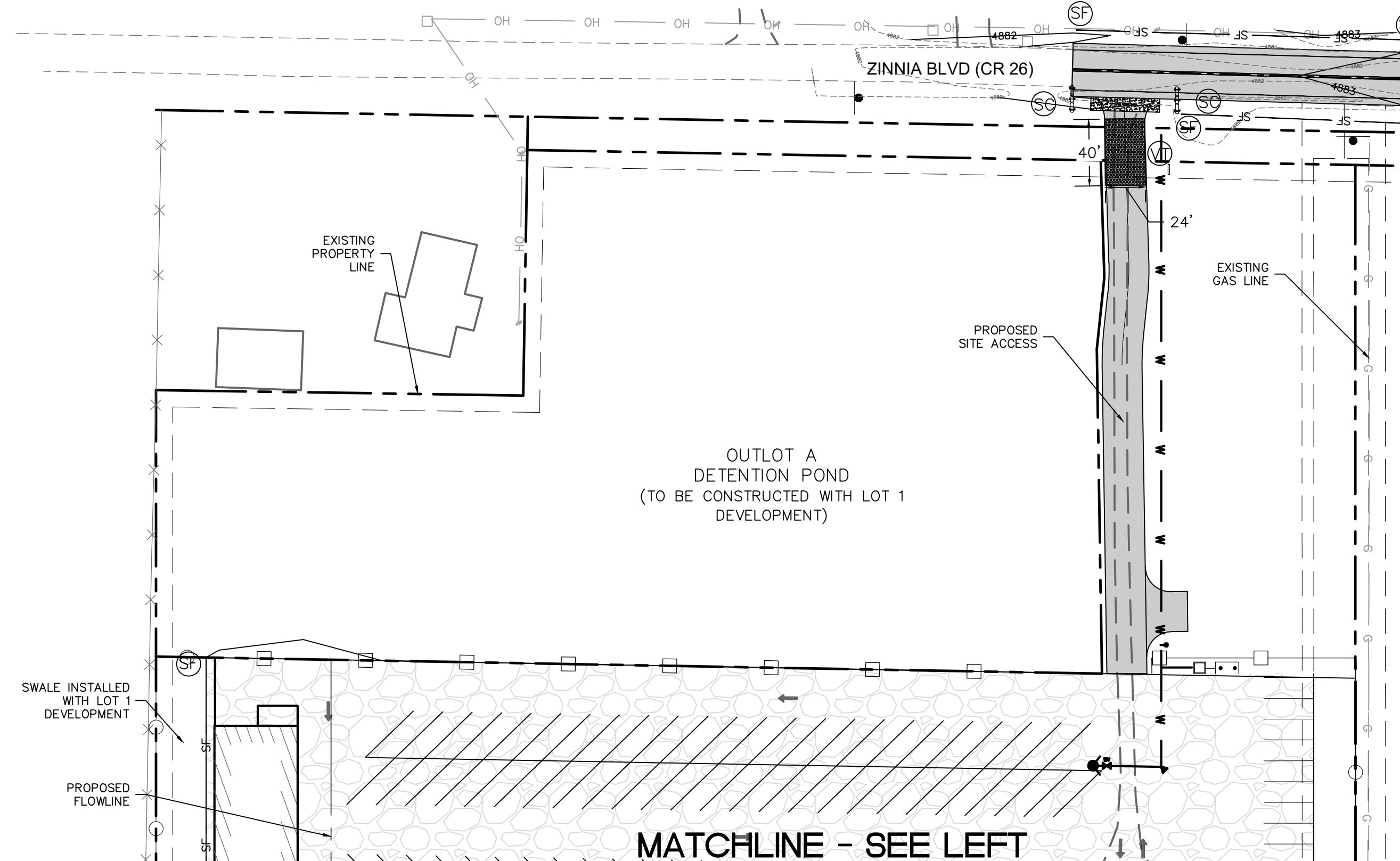
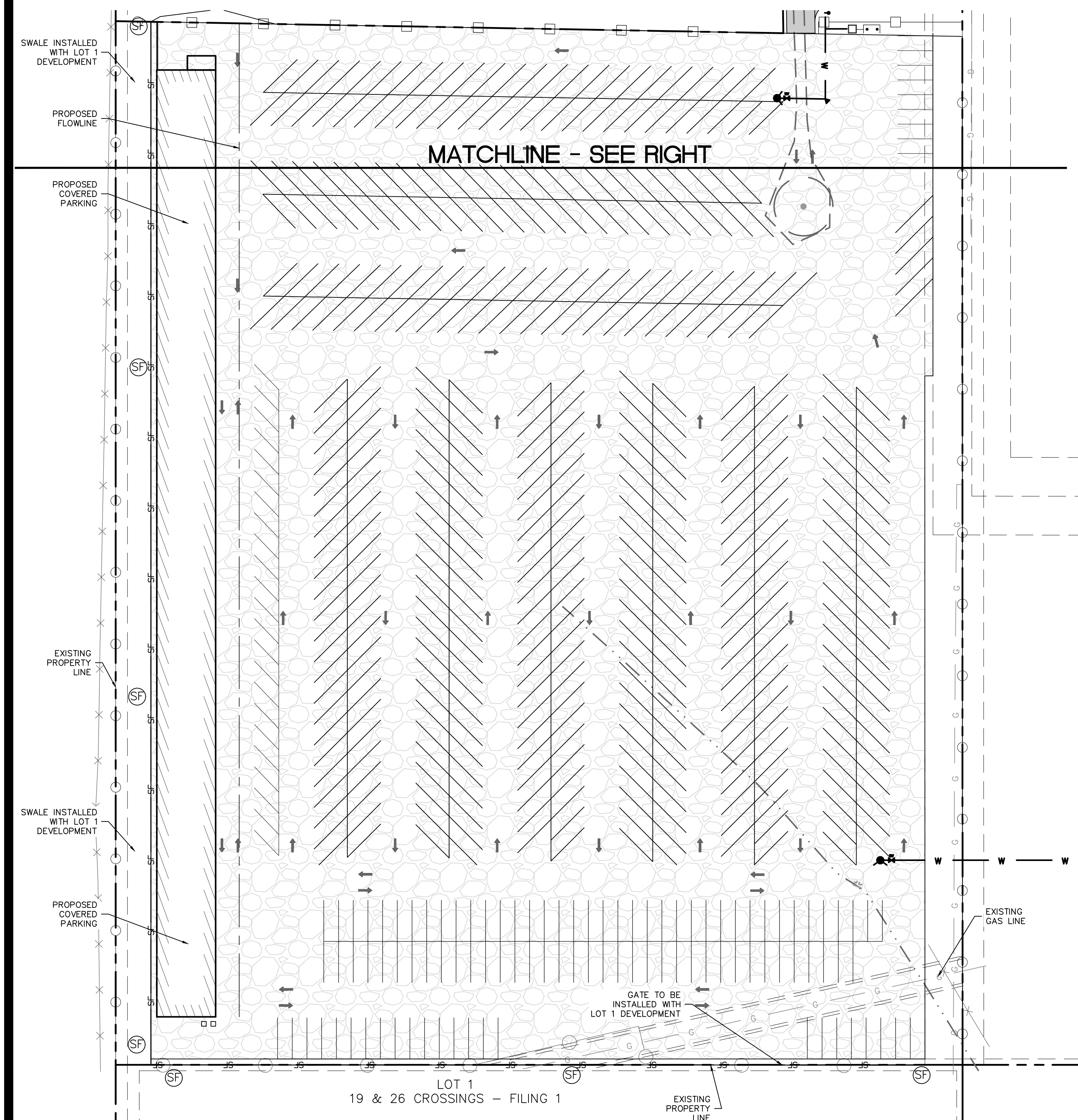
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A

SHEET 10 OF 16

FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 11 OF 16



Know what's below.
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FIRESTONE INFORMATION BLOCK	
EROSION/SEDIMENT CONTROL PLAN	
NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET 11 OF 16	

DRAWN FOR:
19 AND 26, LLC
PO BOX 745
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970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
EROSION/SEDIMENT CONTROL PLAN
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
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PLATTEVILLE CO 80651
(970) 539-2656
ertw@wengineer.com

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SWABBCO STORAGE
SHEET
C11
11 OF 16 SHEETS

FINAL DEVELOPMENT PLAN

SWABBCO STORAGE

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 12 OF 16



Know what's below.
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19 AND 26, LLC
PO BOX 745
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970-289-0506

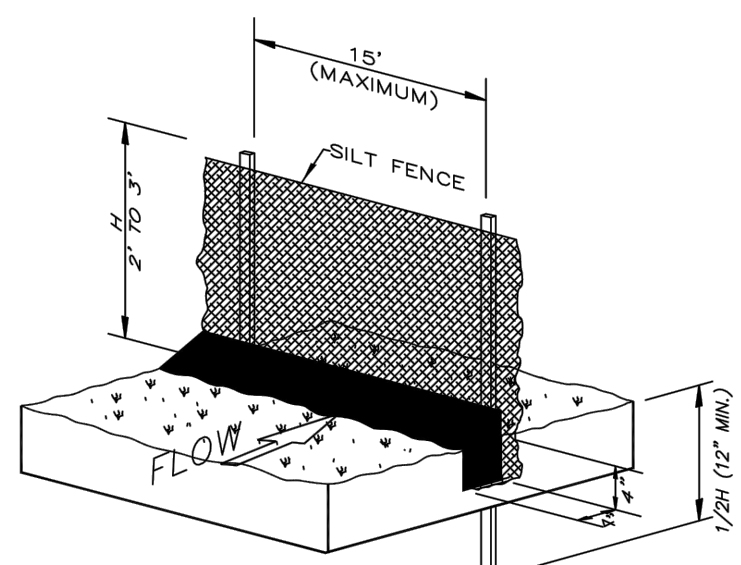
SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
DETAILS
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
erf@wernismann.com

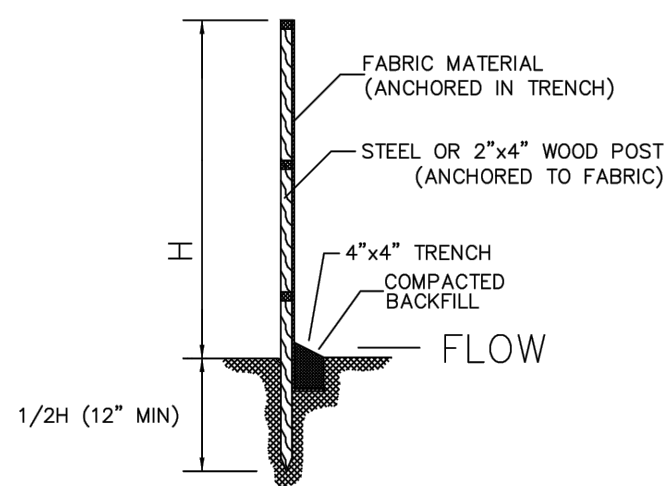
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DATE
03/12/2021
SCALE
AS SHOWN
PROJECT #
SWABBCO STORAGE
SHEET

C12

12 OF 16 SHEETS



SILT FENCE INSTALLATION
-NTS-



SECTION
-NTS-

FOR SINGLE LOT EROSION CONTROL
SEE SHEET STM8

- NOTES:
1. INSTALL SILT FENCE PARALLEL TO THE CONTOUR OF THE LAND.
 2. EXTEND ENDS UPSLOPE TO ALLOW WATER TO POND BEHIND FENCE.
 3. EXCAVATE A TRENCH 4 INCHES WIDE AND 4 INCHES DEEP.
 4. INSTALL FENCE WITH POSTS ON THE DOWNSLOPE SIDE.
 5. PLACE 8 INCHES OF FABRIC IN THE TRENCH, EXTENDING THE BOTTOM 4 INCHES TOWARD THE UPSLOPE SIDE.
 6. JOIN SILT FENCE SECTIONS BY USING A WRAP JOINT.
 7. BACKFILL TRENCH WITH SOIL MATERIALS AND COMPACT.
 8. INSPECT AT LEAST WEEKLY AND AFTER EACH STORM EVENT, REPAIRING AS NEEDED AND REMOVING SEDIMENT DEPOSITS WHEN THEY REACH ONE-HALF THE FENCE HEIGHT.

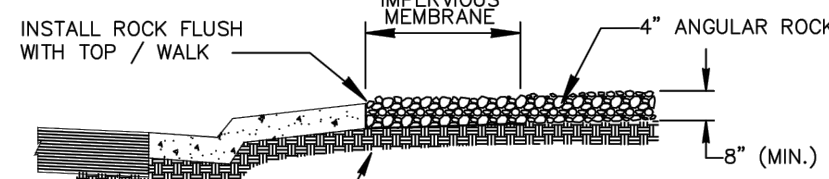
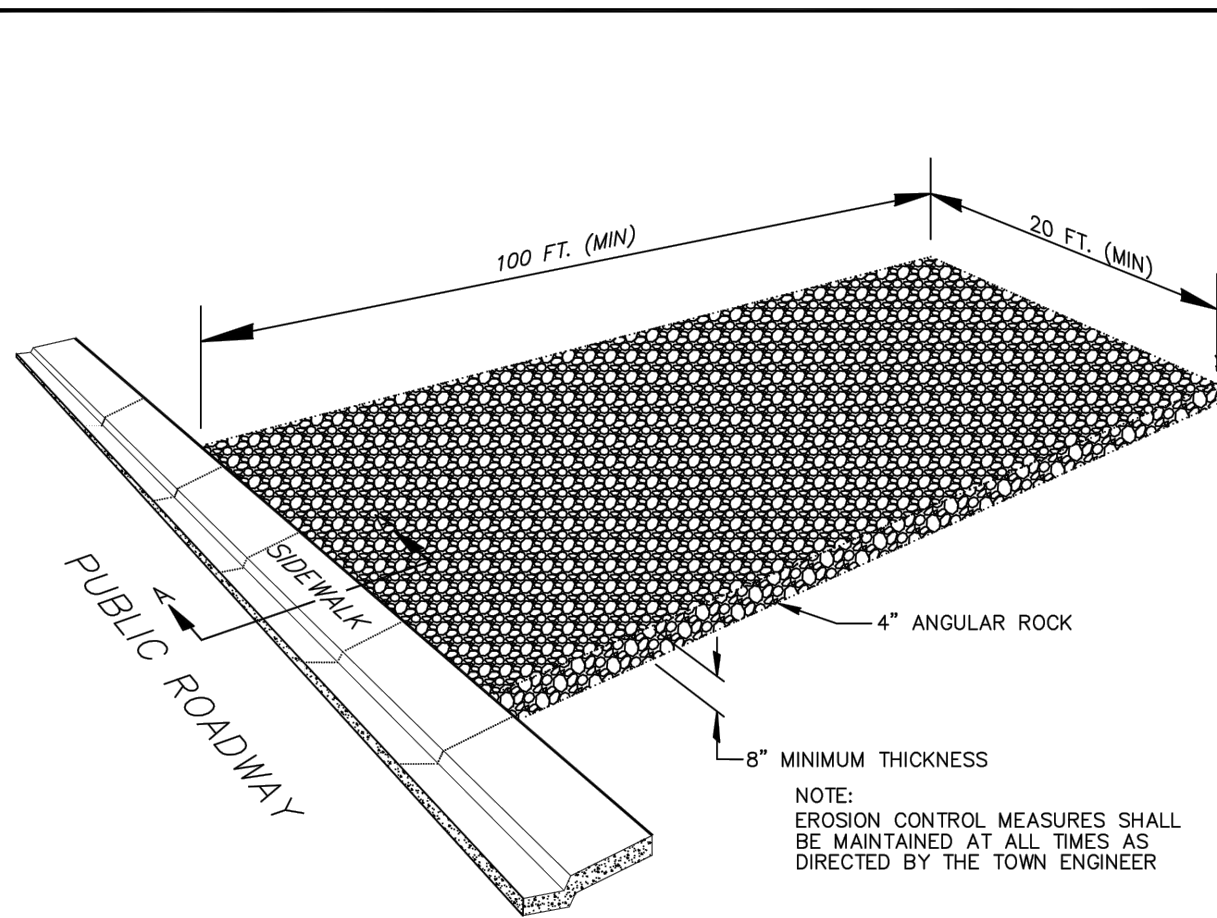
SILT FENCE EROSION BARRIER



STORM SEWER
CONSTRUCTION DRAWINGS

BY: JME
SCALE: NTS
DATE: 1/2020

DRAWING:
STM4



SECTION A-A
-NTS-

- NOTES:
1. ALL ROCK TO BE REMOVED UPON COMPLETION OF CONSTRUCTION
 2. PUBLIC ROADWAY TO BE KEPT CLEAN AND FREE OF MUD, DIRT AND DEBRIS AT ALL TIMES

TRACKING CONTROL PAD - CRUSHED ROCK



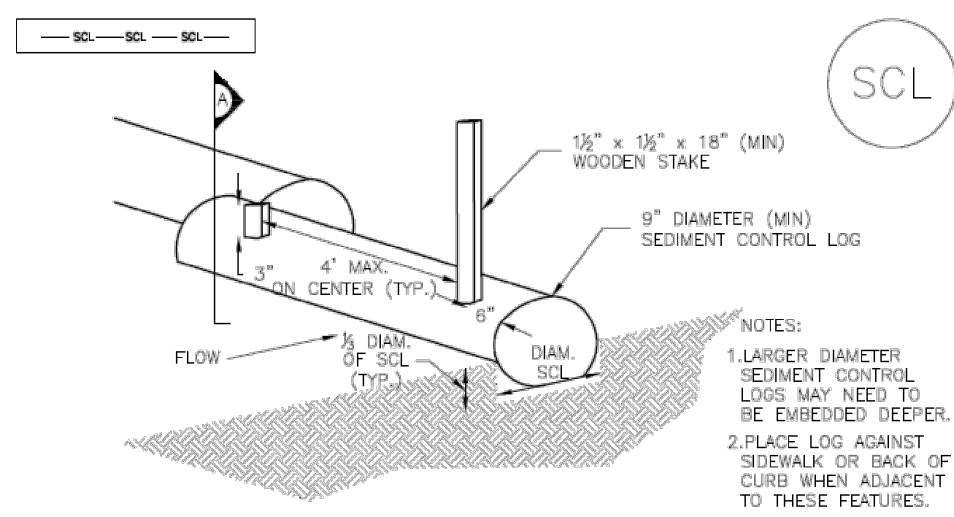
STORM SEWER
CONSTRUCTION DRAWINGS

BY: JME
SCALE: NTS
DATE: 1/2020

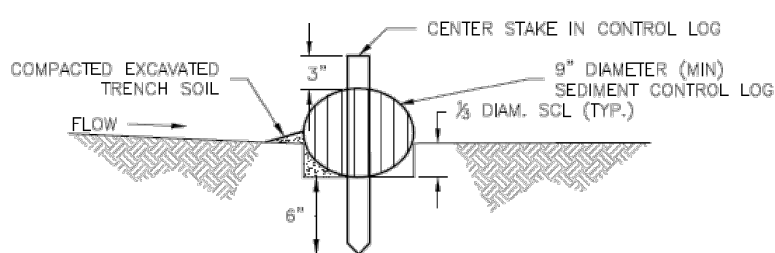
DRAWING:
STM6A

Sediment Control Log (SCL)

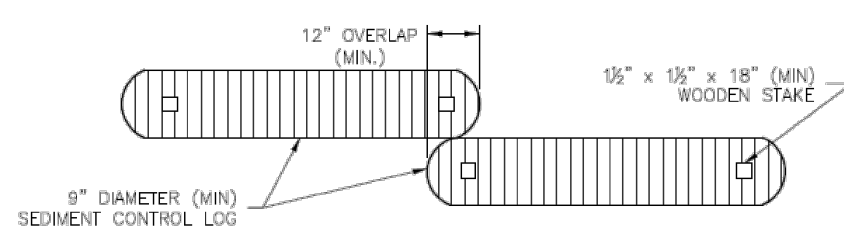
SC-2



TRENCHED SEDIMENT CONTROL LOG



SECTION A-A TRENCHED SEDIMENT CONTROL LOG



LOG JOINTS

SCL-1, TRENCHED SEDIMENT CONTROL LOG

November 2015 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

SCL-3

SC-2

Sediment Control Log (SCL)

- SEDIMENT CONTROL LOG INSTALLATION NOTES
1. SEE PLAN VIEW FOR LOCATION AND LENGTH OF SEDIMENT CONTROL LOGS.
 2. SEDIMENT CONTROL LOGS THAT ACT AS A PERIMETER CONTROL SHALL BE INSTALLED PRIOR TO ANY UPGRADE LAND-DISTURBING ACTIVITIES.
 3. SEDIMENT CONTROL LOGS SHALL CONSIST OF STRAW, COMPOST, EXCELSIOR OR COCONUT FIBER, AND SHALL BE FREE OF ANY NOXIOUS WEED SEEDS OR DEFECTS INCLUDING RIPS, HOLES AND OBVIOUS WEAR.
 4. SEDIMENT CONTROL LOGS MAY BE USED AS SMALL CHECK DAMS IN DITCHES AND SWALES. HOWEVER, THEY SHOULD NOT BE USED IN PERENNIAL STREAMS.
 5. IT IS RECOMMENDED THAT SEDIMENT CONTROL LOGS BE TRENCHED INTO THE GROUND TO A DEPTH OF APPROXIMATELY 1/3 OF THE DIAMETER OF THE LOG. IF TRENCHING TO THIS DEPTH IS NOT FEASIBLE AND/OR DESIRABLE (SHORT TERM INSTALLATION WITH DESIRE NOT TO DAMAGE LANDSCAPE) A LESSER TRENCHING DEPTH MAY BE ACCEPTABLE WITH MORE ROBUST STAKING. COMPOST LOGS THAT ARE 8 LB/FT DO NOT NEED TO BE TRENCHED.
 6. THE UPHILL SIDE OF THE SEDIMENT CONTROL LOG SHALL BE BACKFILLED WITH SOIL OR FILTER MATERIAL THAT IS FREE OF ROCKS AND DEBRIS. THE SOIL SHALL BE TIGHTLY COMPACTED INTO THE SHAPE OF A RIGHT TRIANGLE USING A SHOVEL OR WEIGHTED LAWN ROLLER OR BLOWN IN PLACE.
 7. FOLLOW MANUFACTURERS' GUIDANCE FOR STAKING. IF MANUFACTURERS' INSTRUCTIONS DO NOT SPECIFY STAKING, STAKES SHALL BE PLACED ON 4' CENTERS AND EMBEDDED A MINIMUM OF 6" INTO THE GROUND. 3" OF THE STAKE SHALL PROTRUDE FROM THE TOP OF THE LOG. STAKES THAT ARE BROKEN PRIOR TO INSTALLATION SHALL BE REPLACED. COMPOST LOGS SHOULD BE STAKED 10' ON CENTER.

SEDIMENT CONTROL LOG MAINTENANCE NOTES

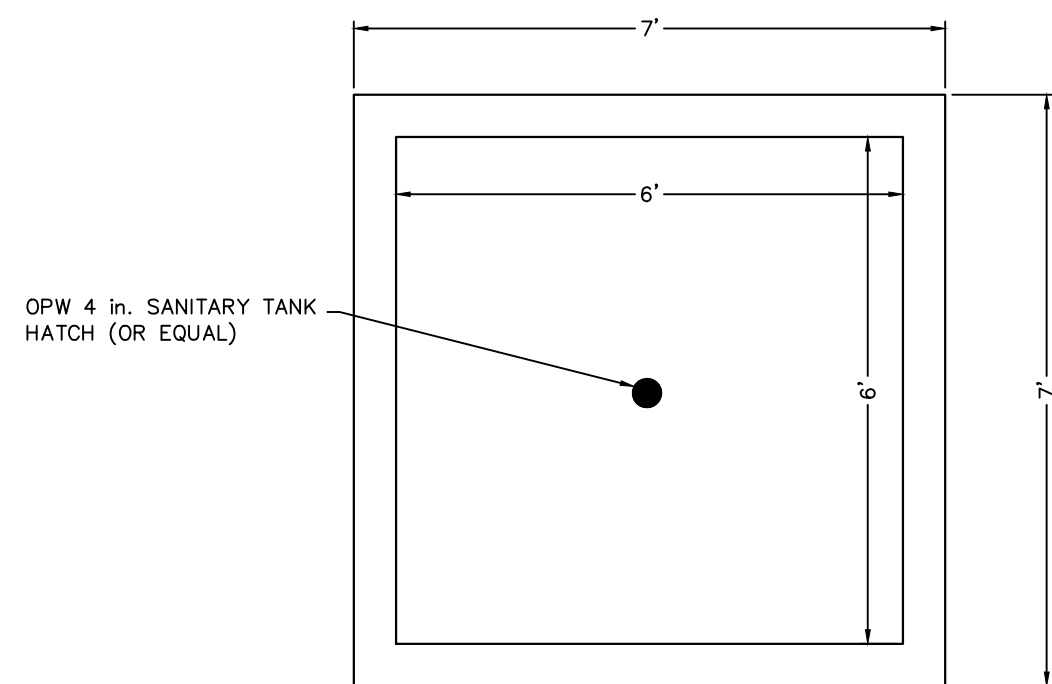
1. INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
2. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
3. WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
4. SEDIMENT ACCUMULATED UPSTREAM OF SEDIMENT CONTROL LOG SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENTS IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE SEDIMENT CONTROL LOG.
5. SEDIMENT CONTROL LOG SHALL BE REMOVED AT THE END OF CONSTRUCTION/COMPOST FROM COMPOST LOGS MAY BE LEFT IN PLACE AS LONG AS BAGS ARE REMOVED AND THE AREA SEEDDED. IF DISTURBED AREAS EXIST AFTER REMOVAL, THEY SHALL BE COVERED WITH TOP SOIL, SEEDDED AND MULCHED OR OTHERWISE STABILIZED IN A MANNER APPROVED BY THE LOCAL JURISDICTION.

(DETAILS ADAPTED FROM TOWN OF PARKER, COLORADO, JEFFERSON COUNTY, COLORADO, DOUGLAS COUNTY, COLORADO, AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOGAD)

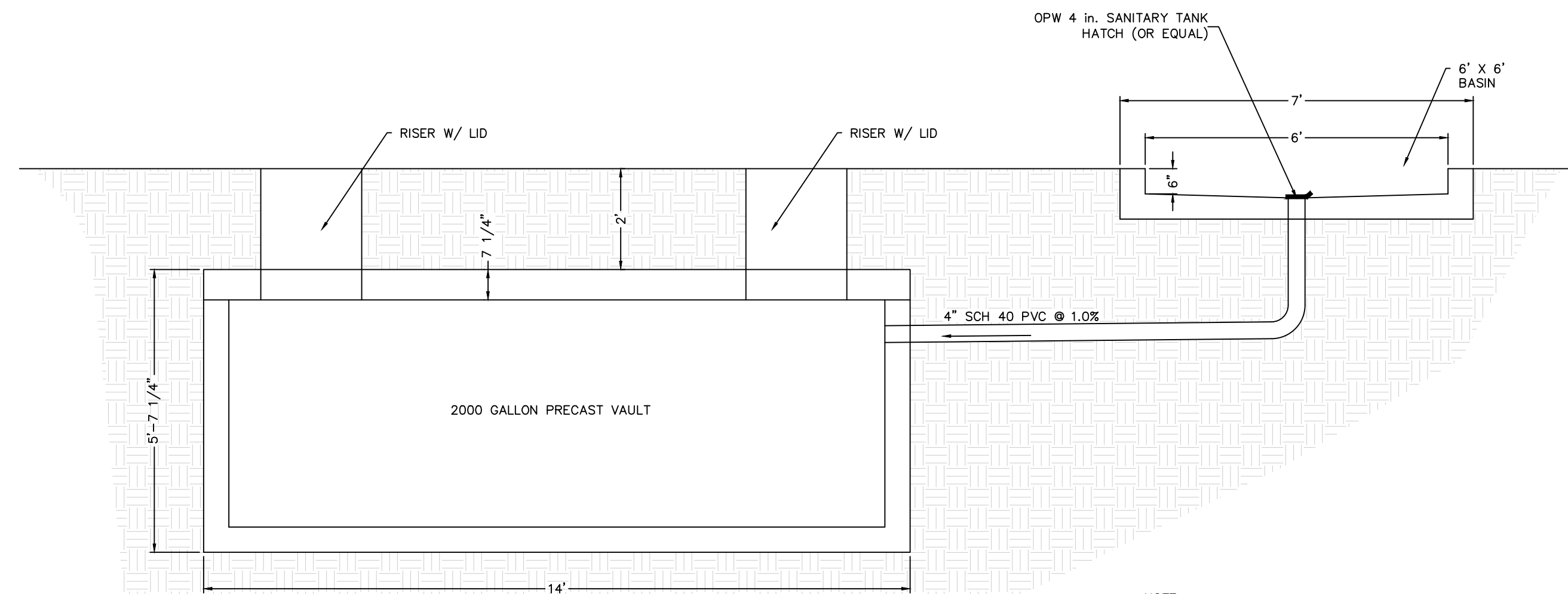
NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

SCL-6 Urban Drainage and Flood Control District
Urban Storm Drainage Criteria Manual Volume 3

November 2015



RV BASIN DETAIL



- NOTE
1. PRECAST CONCRETE TANK SHALL HAVE A MINIMUM OF 2000 GALLON CAPACITY.
 2. FULL TANK ALARM SYSTEM BY OTHERS
 3. A SEPTIC TANK OR SAND/OIL INTERCEPTOR MAY BE USED IF THE CENTER BAFFLE IS REMOVED

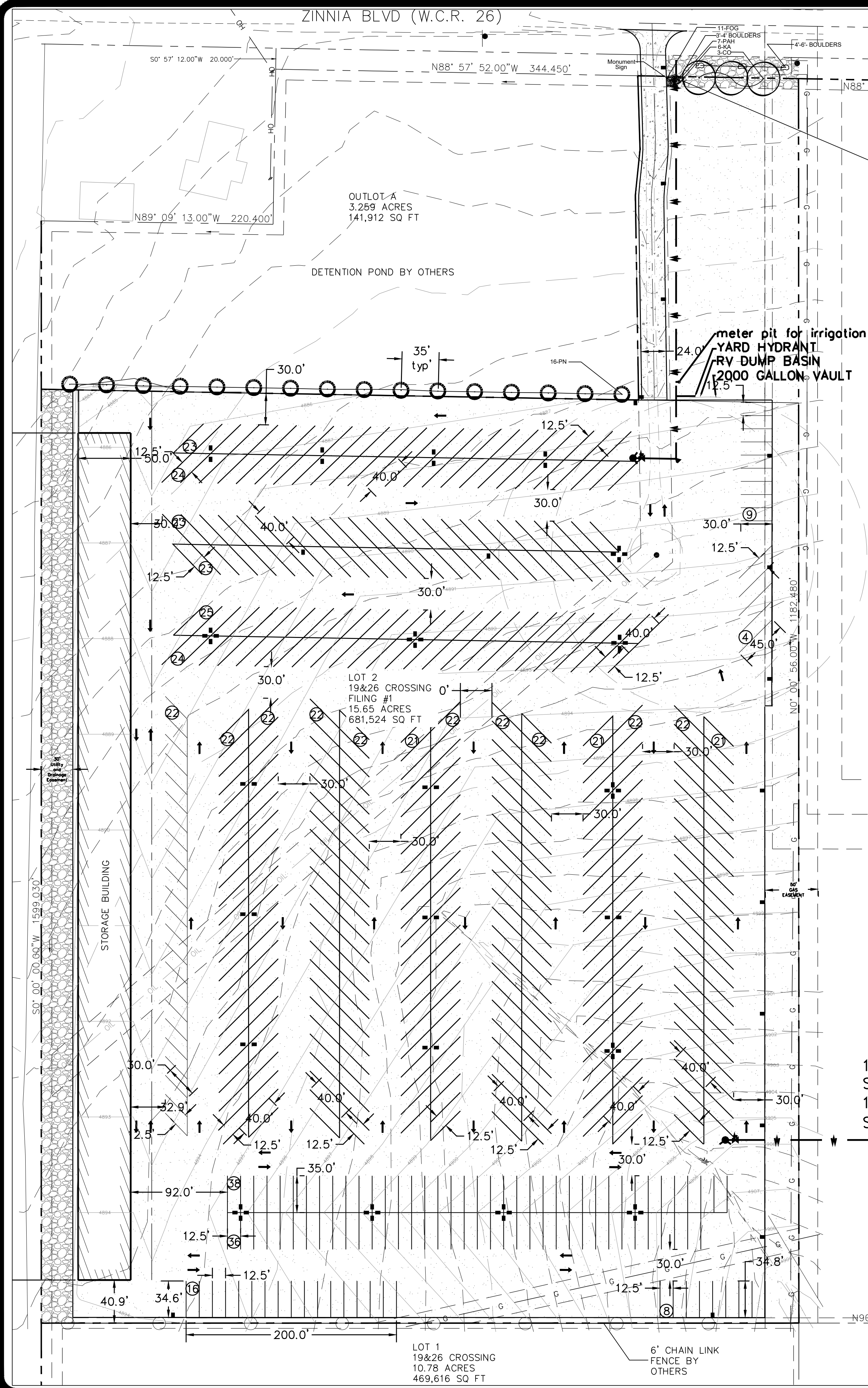
RV DUMP DETAIL

FIRESTONE INFORMATION BLOCK

DETAILS

NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A

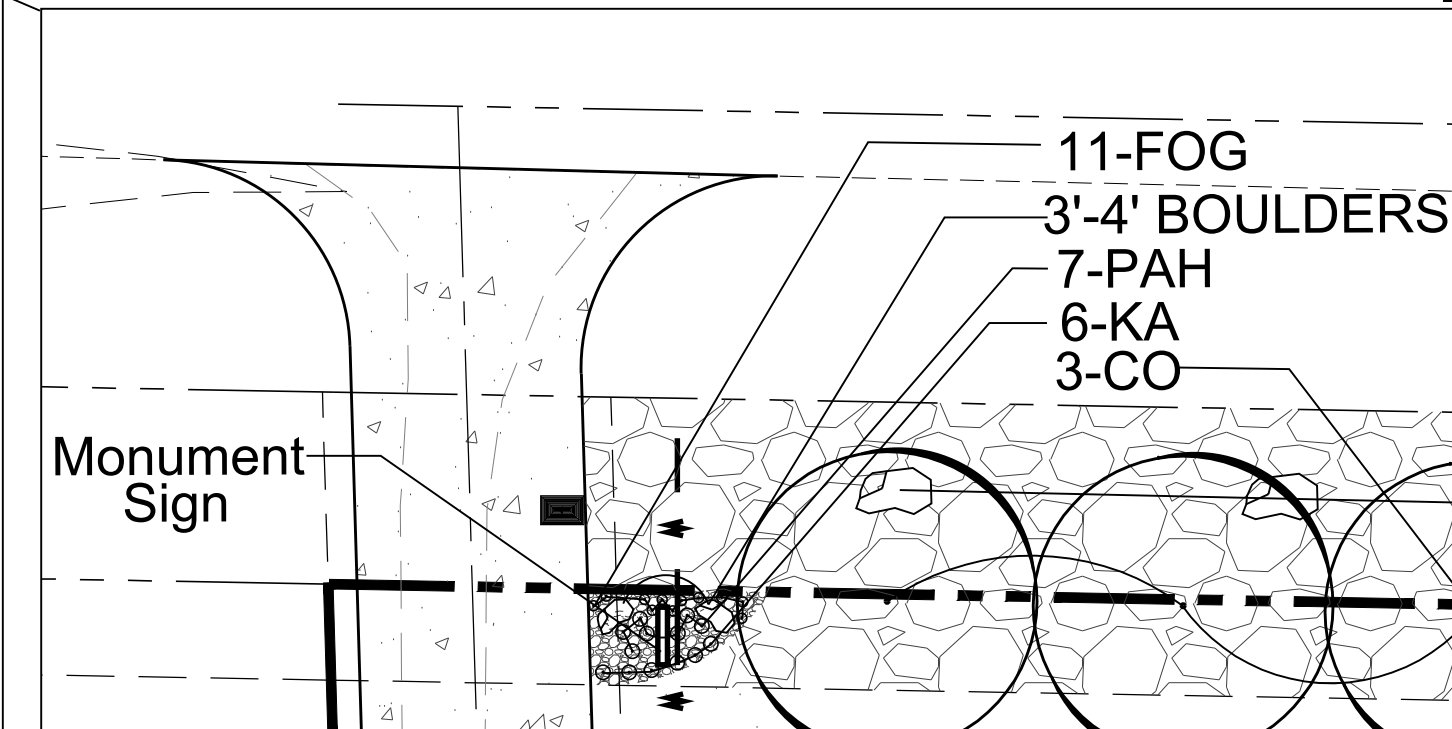
SHEET 12 OF 16



FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 13 OF 16



ENTRY LANDSCAPE



PLANT LEGEND

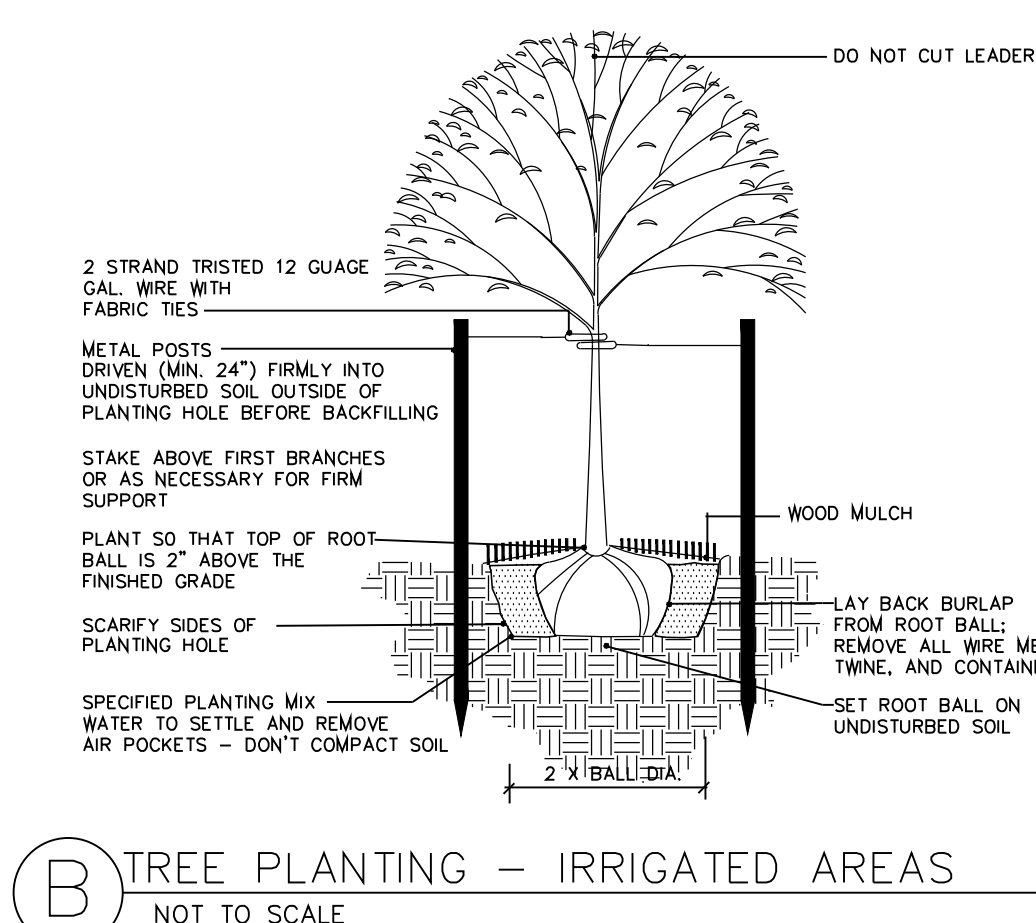
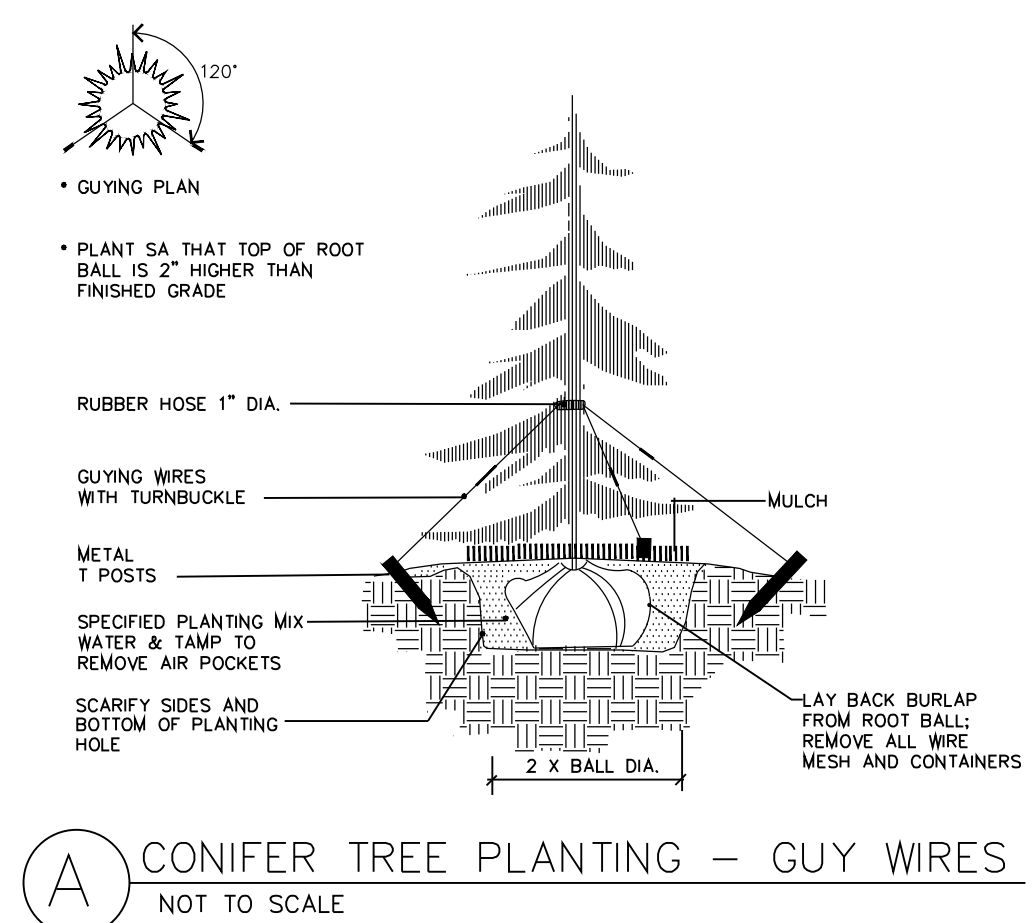
- EVERGREEN TREES
- PERENNIALS
- 3'-4' BOULDER
- 4'-6' BOULDER
- STORAGE AREA SURFACE
- 1"-3/4" RIVERROCK
- PAVEMENT

PLANT NOTES

- ALL PLANT MATERIAL SHALL MEET SPECIFICATIONS OF THE AMERICAN ASSOCIATION OF NURSERYMEN (AAN) FOR NUMBER ONE GRADE. ALL TREES SHALL BE BALLED AND BURLAPPED.
- NO PLANT MATERIAL WITH MATURE GROWTH GREATER THAN THREE FEET (3') IN HEIGHT SHALL BE PLANTED WITHIN WATER AND SEWER EASEMENTS.
- NO SHRUBS SHALL BE PLANTED WITHIN FIVE (5) FEET OR TREES WITHIN (10) FEET OF POTABLE AND NONPOTABLE WATER METERS, FIRE HYDRANTS, SANITARY SEWER MANHOLES, OR POTABLE WATER, SANITARY SEWER, AND NON POTABLE IRRIGATION MAINS AND SERVICES.
- DEVELOPER SHALL ENSURE THAT THE LANDSCAPE PLAN IS COORDINATED WITH THE PLANS DONE BY OTHER CONSULTANTS SO THAT THE PROPOSED GRADING, STORM DRAINAGE, OR OTHER CONSTRUCTION DOES NOT CONFLICT NOR PRECLUDE INSTALLATION AND MAINTENANCE OF LANDSCAPE ELEMENTS ON THIS PLAN.
- ALL SHRUB BEDS TO BE MULCHED 3" DEEP WITH 3/4" RIVER ROCK PLACED ON WEED BARRIER FABRIC.
- TOPSOIL. TO THE MAXIMUM EXTENT FEASIBLE, TOPSOIL THAT IS REMOVED DURING CONSTRUCTION ACTIVITY SHALL BE CONSERVED FOR LATER USE.
- SOIL AMENDMENTS. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED. 4 CU.YRDS./1000 SQ.FT. OF ORGANIC AMENDMENTS SUCH AS COMPOST, PEAT, OR AGED MANURE SHALL BE THOROUGHLY INCORPORATED INTO THE SOIL.

PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
DECIDUOUS TREES					
CO	Celtis occidentalis	Western Hackberry	2" cal.	B&B	3
EVERGREEN TREES					
PN	Pinus nigra	Austrian Pine	6' ht.	B&B	16
EVERGREEN TREES					
FOG	Festuca ovina glauca	Blue Fescue	1 gal.	12" o.c.	11
PAH	Pennisetum alopecuroides 'Hamlin'	Dwarf Fountain Grass	1 gal.	12" o.c.	7
KA	Calamagrostis x acutiflora 'Karl Forester'	Karl Forester Grass	1 gal.	24" o.c.	6



FIRESTONE INFORMATION BLOCK

IRRIGATION PLAN

NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FILING NUMBER:	N/A
PREPARATION DATE:	MARCH 12, 2021
REVISION DATE:	N/A
REVISION DATE:	N/A
REVISION DATE:	N/A
SHEET	13 OF 16

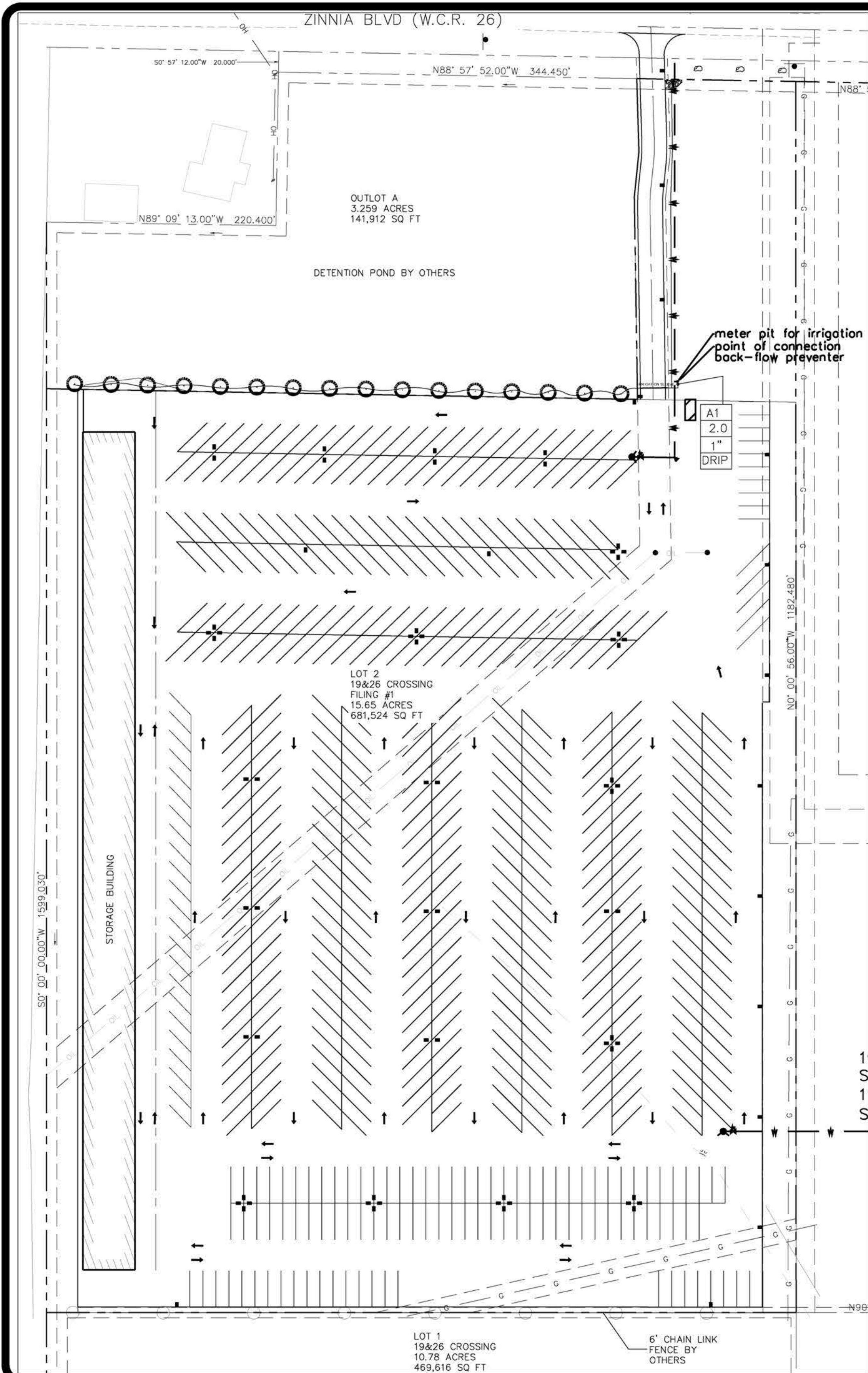


DRAWN FOR:
19 AND 26, LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1
FIRESTONE CO

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
eric@wernisman.com

DRAWN
CHECKED
DATE
03/12/2021
SCALE
AS SHOWN
PROJECT #
SWABBCO STORAGE
SHEET
LS1
OF 16 SHEETS



FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 14 OF 16



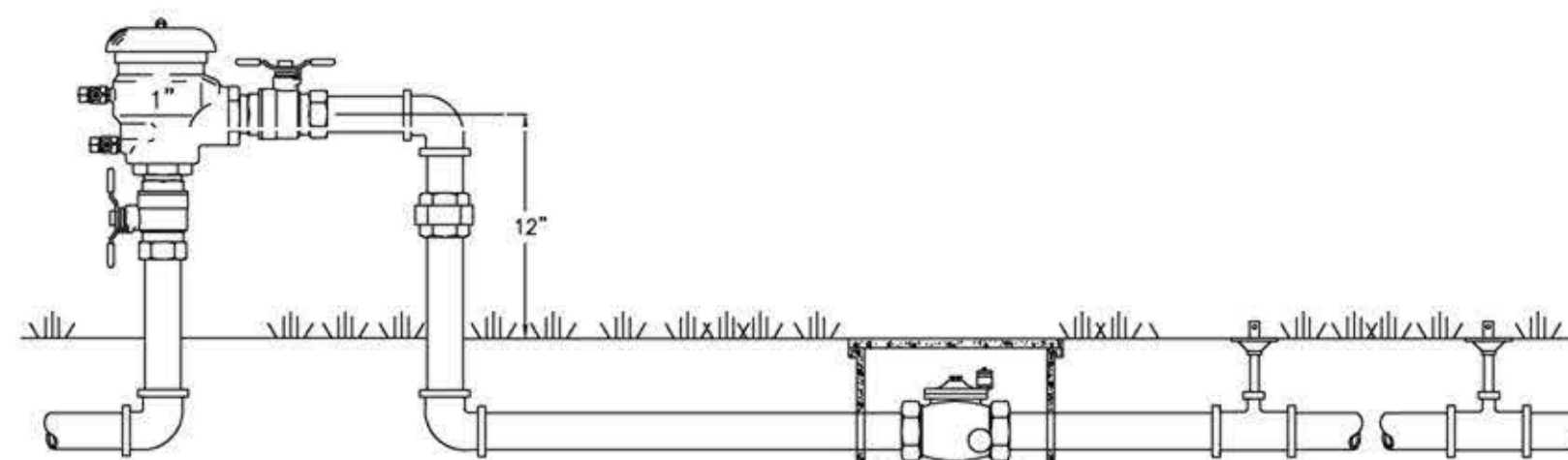
Know what's below.
Call before you dig.

IRRIGATION NOTES

- ALL PIPING SHOWN ON PLANS IS DIAGRAMMATIC AND LOCATIONS SHOWN ARE FOR CLARITY ONLY. ALL PIPING SHALL BE ROUTED IN PLANTING AREAS AND SHALL AVOID TREE LOCATIONS. PIPING SHALL MAINTAIN A MINIMUM OF 10 LF FROM TREE ROOT BALLS.
- IRRIGATION SYSTEM DESIGNED FOR 50 PSI DYNAMIC PRESSURE. CONTRACTOR TO STATIC PRESSURE PRIOR TO INSTALLATION. STATIC PRESSURE MUST BE MINIMUM 70 PSI.
- CONTRACTOR SHALL INSTALL IRRITROL 700-1 1" MASTER VALVE AND WEATHERMATIC SLFST-110 1" FLOW SENSOR DOWNSTREAM OF BACKFLOW DEVICE AND RUN MANUFACTURER RECOMMENDED COMMUNICATION WIRE TO CONTROLLER AND MAKE ALL NECESSARY CONNECTIONS FOR PROPER OPERATION.
- ALL COPPER PIPING DOWNSTREAM OF METER SHALL BE 1-1/4" DIAMETER AND SHALL TRANSITION TO PVC OUTSIDE OF BUILDING FOUNDATION AND AT MAINLINE DEPTH.
- ALL SLEEVE PIPE SHALL BE CLASS 200 PVC AND SIZED AS FOLLOWS:
5.1 ALL CLASS 200 PVC SUB-MAINLINE - ONE 4" DIAMETER CL 200 PVC SLEEVE
5.2 ALL CLASS 200 PVC SPRINKLER LATERAL PIPE - ONE 4" DIAMETER CL 200 PVC SLEEVE
5.3 1" DRIP HEADER LINE - ONE 3" DIAMETER CL 200 PVC SLEEVE
- ALL SLEEVE PIPE OPENINGS SHALL BE DOUBLE WRAPPED WITH 6 MIL POLYETHYLENE PLASTIC AND SECURED USING WIRE "ZIP" TIES AROUND SLEEVE AND PIPE.
- MINIMUM PIPE SIZE SHALL BE 1" DIAMETER UNLESS OTHERWISE NOTED ON PLAN.
- CONTRACTOR SHALL PROVIDE 120 VOLT 15 AMP ELECTRICAL SERVICE TO CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE IN COMPLIANCE WITH N.E.C. AND ALL LOCAL CODES.
- ACTUAL CONTROLLER LOCATION SHALL BE DETERMINED IN THE FIELD BY OWNERS REPRESENTATIVE.
- CONTRACTOR SHALL PROVIDE AND INSTALL WIRELESS RAIN/FREEZE SENSOR AT CONTROLLER LOCATION AND INSTALL WITH CLEAR ACCESS AND NO OBSTRUCTIONS.
- DRIP HEADER LINES SHOWN ON PLANS INDICATE PROXIMITY OF DRIP ZONES. ALL TREES AND SHRUBS IN NATIVE SEEDING AREAS SHALL HAVE DRIP RINGS FOR TREES (24" SPACING) AND 18" GRID LAYOUTS OR INDIVIDUAL EMITTER LOCATIONS FOR ALL SHRUBS. EMITTER LOCATIONS AND DISTRIBUTION TUBING NOT SHOWN ON PLANS FOR GRAPHICAL AND CLARITY PURPOSES. ZONES ARE DESIGNED TO ACCOMMODATE 5 GPM NOT TO EXCEED 10 GPM USING RAIN BIRD PRESSURE COMPENSATING XERI-BUG 1.0 GPH EMITTERS (NOT TO EXCEED 600 EMITTERS PER ZONE).
- DRIP EMITTERS SHALL BE PRESSURE COMPENSATING TYPE. DRIP EMITTER LOCATIONS ARE NOT SHOWN ON PLAN FOR GRAPHICAL PURPOSES. EMITTERS SHALL BE INSTALLED PER THE FOLLOWING QUANTITIES:
12.1 #2 CONTAINER = TWO 1.0 GPH EMITTER
12.2 #5 CONTAINER = THREE 1.0 GPH EMITTERS
12.3 2" CALIPER TREE & LARGER = DUAL LOOP DRIP LINE, 0.6 GPH @ 24" SPACING, 32" INNER LOOP (4 EMITTERS) AND 60" OUTER LOOP (8 EMITTERS)
- ALL PIPING AND VALVE ASSEMBLIES SHALL BE LOCATED IN NATIVE OR SHRUB BED AREAS WHERE POSSIBLE. LOCATIONS SHOWN ARE DIAGRAMMATIC AND ARE FOR CLARITY PURPOSES ONLY.
- REMOTE CONTROL VALVES FOR TURF SHALL BE INSTALLED IN ADJACENT SHRUB BEDS OR WITHIN 2LF OF WALKWAYS AND CURBS OR IN TURF AREAS NOT CONTROLLED BY VALVE IN QUESTION.
- ANY QUANTITIES SHOWN ON PLAN ARE ESTIMATED QUANTITIES ONLY. FIELD CONDITIONS MAY VARY AND MAY ALTER ACTUAL QUANTITIES. CONTRACTOR TO VERIFY FIELD CONDITIONS PRIOR TO INSTALLATION.
- ALL SPRINKLER NOZZLES SHALL BE ADJUSTED FOR OPTIMUM COVERAGE AND MINIMUM OVERSPRAY.
- REMOTE CONTROL VALVES SHALL BE INSTALLED PER DETAILED DRAWINGS AND SHALL HAVE ONE CONTROL VALVE PER VALVE BOX.
- BACK FLOW PREVENTION SHALL BE INSTALLED TO MEET ALL LOCAL CODES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
- ALL TRENCHES SHALL BE BACKFILLED IN 6" LIFTS OF CLEAN SOIL FREE OF ROCKS AND RUBBISH AND COMPACTED TO 95% PROCTOR DENSITY. CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO ANY EXCAVATION.
- CARE SHALL BE TAKEN TO ENSURE THAT NO SOIL OR DEBRIS ENTERS THE PIPE DURING INSTALLATION.
- ALL PIPE ENDS SHALL BE PROPERLY CLEANED AND SHALL BE FREE OF ANY BURRS AND/OR SHAVINGS AS A RESULT OF THE PIPE BEING CUT.
- ALL LINES SHALL BE THOROUGHLY FLUSHED PRIOR TO INSTALLATION OF NOZZLES.

IRRIGATION LEGEND

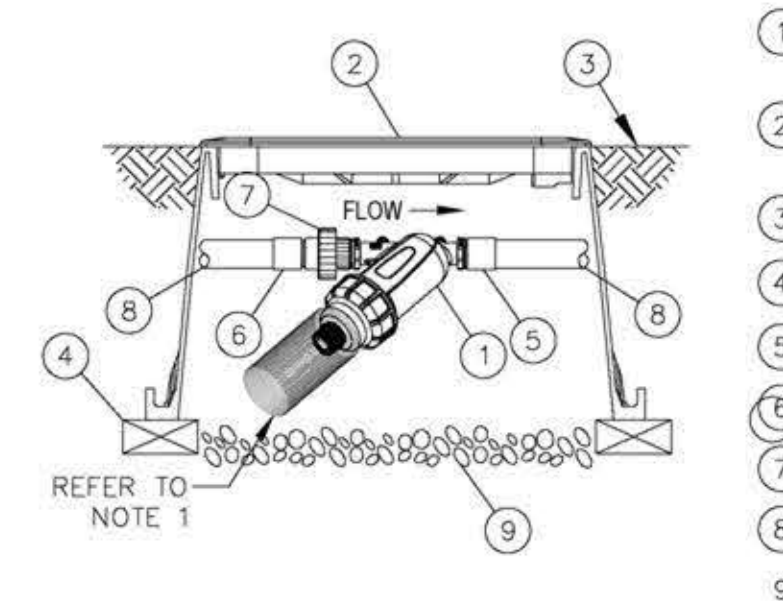
- REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER LATERALS
RAINBIRD PEB (SIZED PER PLAN)
- REMOTE CONTROL VALVE ASSEMBLY: RAINBIRD KCZ-PRB-100-COM
- FLUSH CAP ASSEMBLY
- INDICATES CONTROLLER AND STATION NUMBER
- INDICATES LATERAL DISCHARGE (GPM)
- INDICATES VALVE SIZE (INCHES)
- INDICATES LANDSCAPE APPLICATION
- LATERAL PIPE TO SPRINKLERS: CLASS 200 PVC
1-INCH UNLESS OTHERWISE INDICATED
- LATERAL PIPE TO EMITTERS: UV RADIATION RESISTANT
POLYETHYLENE (3/4-INCH SIZE, ROUTING IS DIAGRAMMATIC)



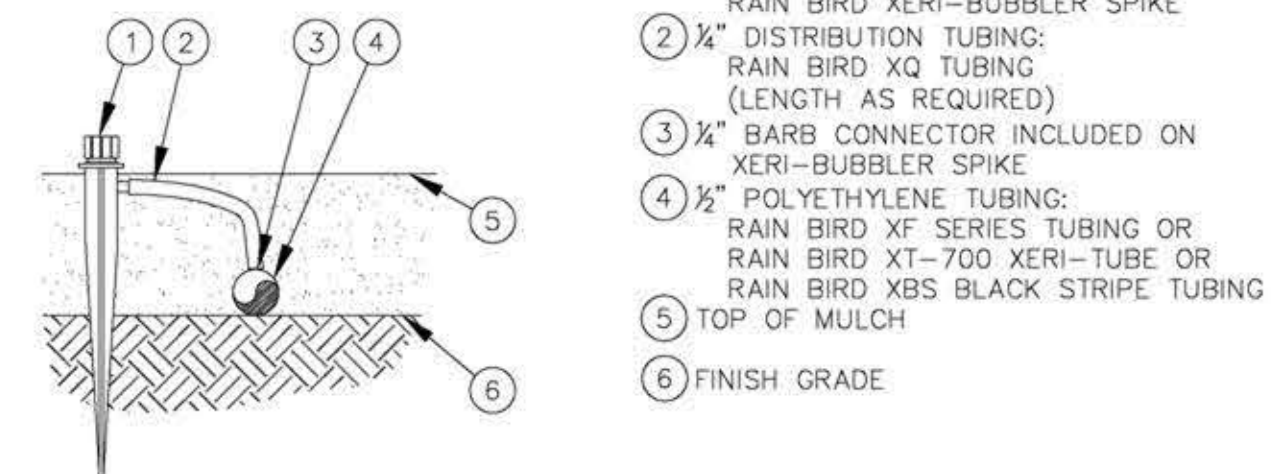
FEBCO MODEL 765
Pressure Vacuum Breaker
Outside Installation



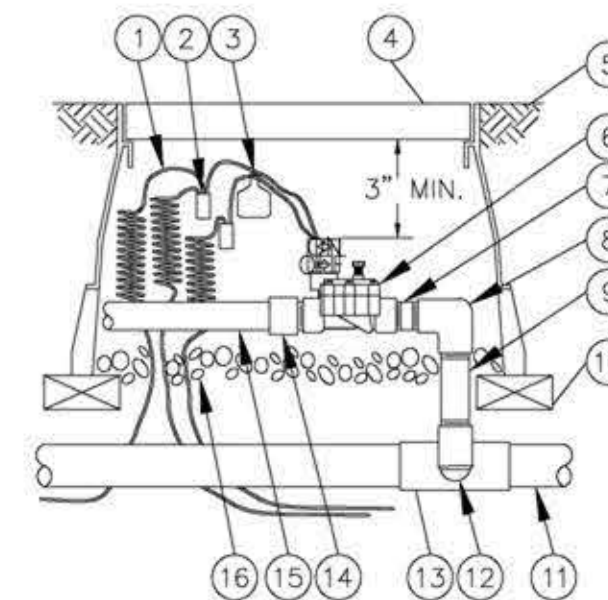
IRRIGATED SQUARE FOOTAGE
136 sq ft of drip area for monument sign
Drip system for 16 Austrian pines



A Drip line filter and pressure reducer
5505 (N.T.S.)



B DRIP EMITTER
5506 (N.T.S.)



C REMOTE CONTROL VALVE
5505 (N.T.S.)

- BUBBLER ON 1/2" TUBING STAKE:
RAIN BIRD XERI-BUBBLER SPIKE
- 1/2" DISTRIBUTION TUBING:
RAIN BIRD XQ TUBING
(LENGTH AS REQUIRED)
- 1/2" BARB CONNECTOR INCLUDED ON
XERI-BUBBLER SPIKE
- 1/2" POLYETHYLENE TUBING:
RAIN BIRD XF SERIES TUBING OR
RAIN BIRD XT-700 XERI-TUBE OR
RAIN BIRD XBS BLACK STRIPE TUBING
- TOP OF MULCH
- FINISH GRADE

- 30-INCH LINEAR LENGTH OF
WIRE, COILED
- WATERPROOF CONNECTION:
RAIN BIRD SPLICE-1 (1 OF 2)
- ID TAG: RAIN BIRD VID SERIES
- VALVE BOX WITH COVER:
RAIN BIRD VB-STD
- FINISH GRADE/TOP OF MULCH
- REMOTE CONTROL VALVE:
RAIN BIRD 100-DV
- PVC SCH 80 NIPPLE (CLOSE)
- PVC SCH 40 ELL
- PVC SCH 80 NIPPLE
(LENGTH AS REQUIRED)
- BRICK (1 OF 4)
- PVC MAINLINE PIPE
- SCH 80 NIPPLE (2-INCH
LENGTH, HIDDEN) AND
SCH 40 ELL
- PVC SCH 40 TEE OR ELL
- PVC SCH 40 MALE ADAPTER
- PVC LATERAL PIPE
- 3.0-INCH MINIMUM DEPTH OF
3/4-INCH WASHED GRAVEL

FIRESTONE INFORMATION BLOCK

IRRIGATION PLAN

NAME OF SUBMITTAL:	SWABBCO STORAGE
TYPE OF SUBMITTAL:	FINAL DEVELOPMENT PLAN
FLING NUMBER:	N/A
PREPARATION DATE:	DECEMBER 8, 2020
REVISION DATE:	03/12/21
REVISION DATE:	N/A
REVISION DATE:	N/A

SHEET 14 OF 16

DRAWN FOR:
19 AND 26 LLC
PO BOX 745
WINDSOR, CO 80550
970-289-0506

SWABBCO STORAGE
LOT 2 19 AND 26 CROSSINGS - FILING 1

WERNISMAN ENGINEERING
AND LAND DEVELOPMENT LLC
16493 ESSEX RD S
PLATTEVILLE CO 80651
(970) 539-2656
ericw@wernisman.com

DRAWN
CHECKED
DATE
03/12/21
SCALE
AS SHOWN
PROJECT #
SWABBCO STORAGE
SHEET
LS2
14 OF 16 SHEETS

FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD,
STATE OF COLORADO
SHEET 15 OF 16



Final Development
Plan
for:

SWABBCO
STORAGE

Lot 2 19 and 26 Crossings - Filing 1
Firestone, Colorado

Project Number: Project Number

No.	Description	Date
1	Final Development Plan	3/11/2021

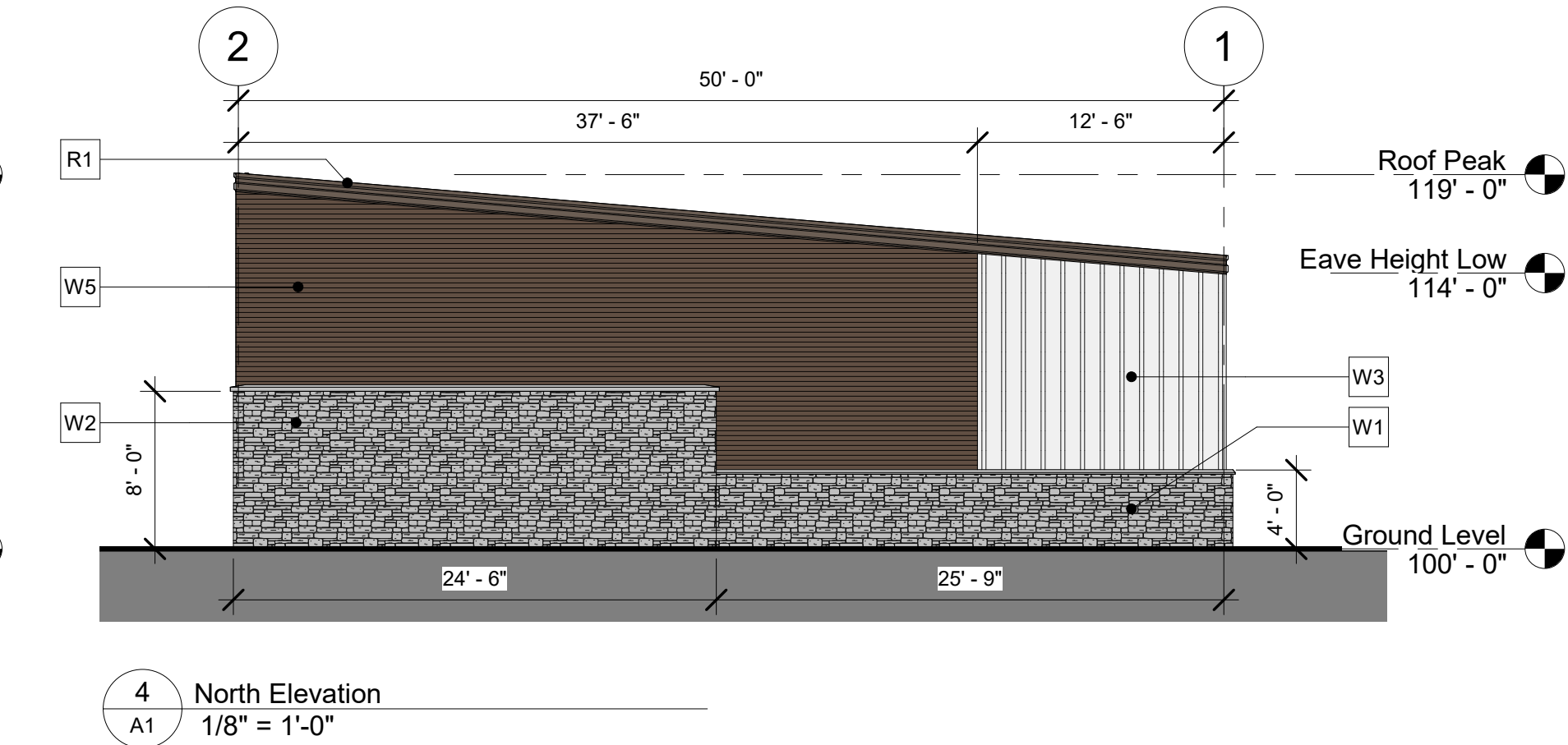
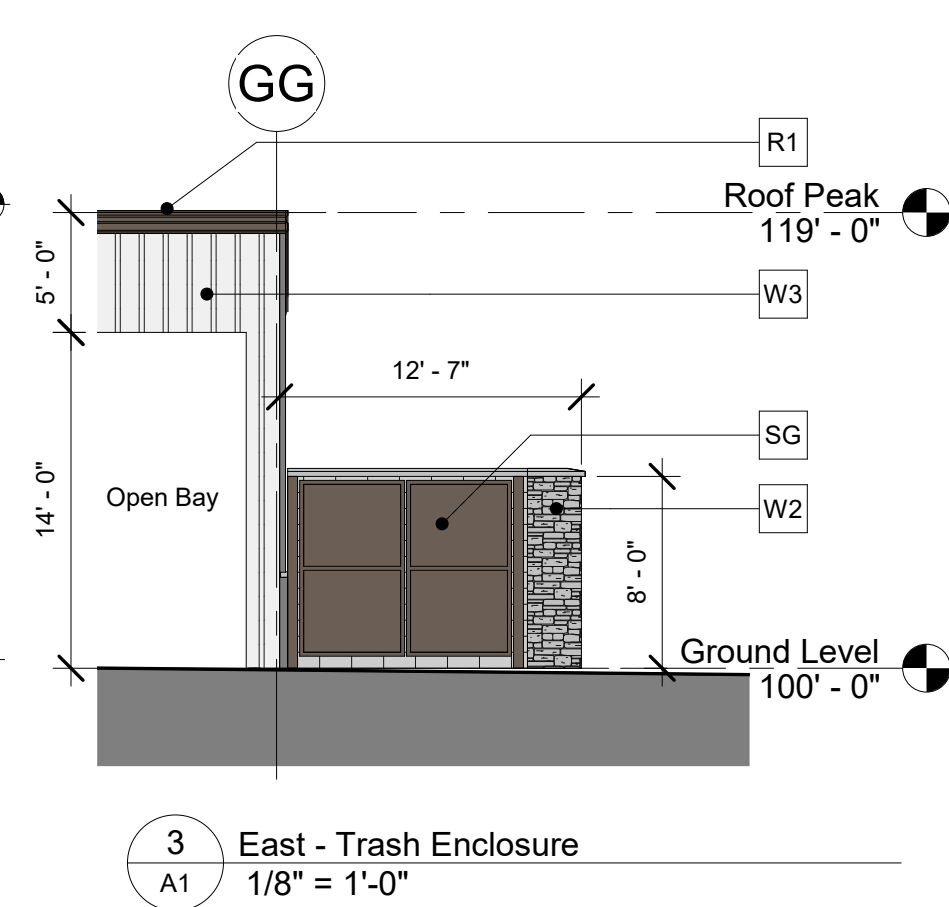
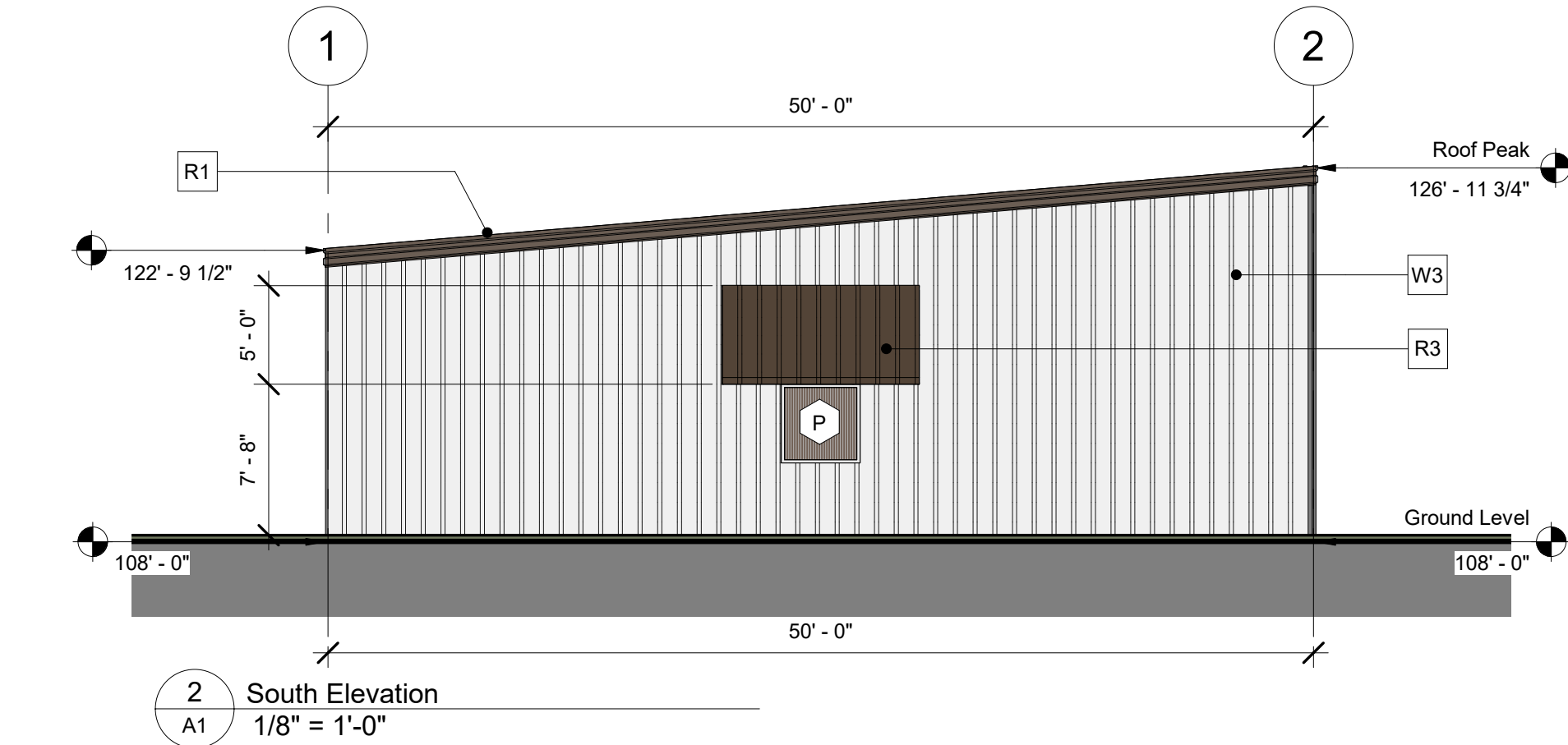
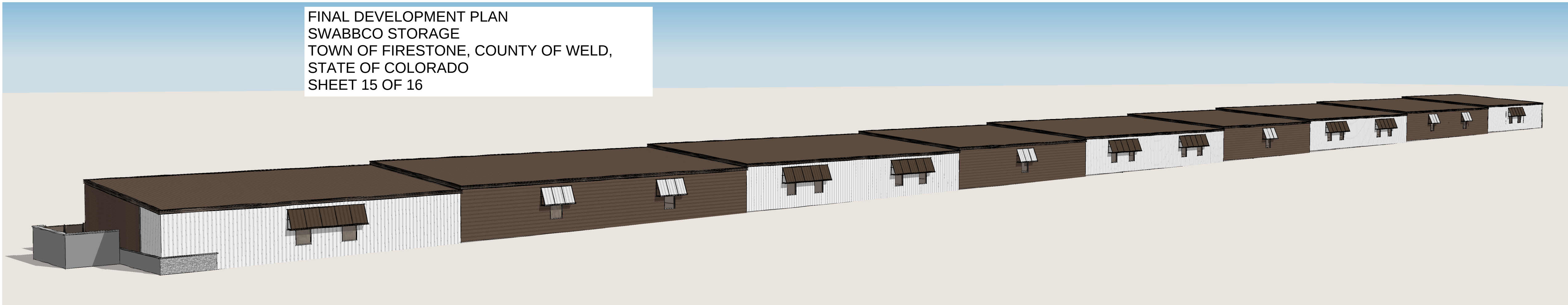
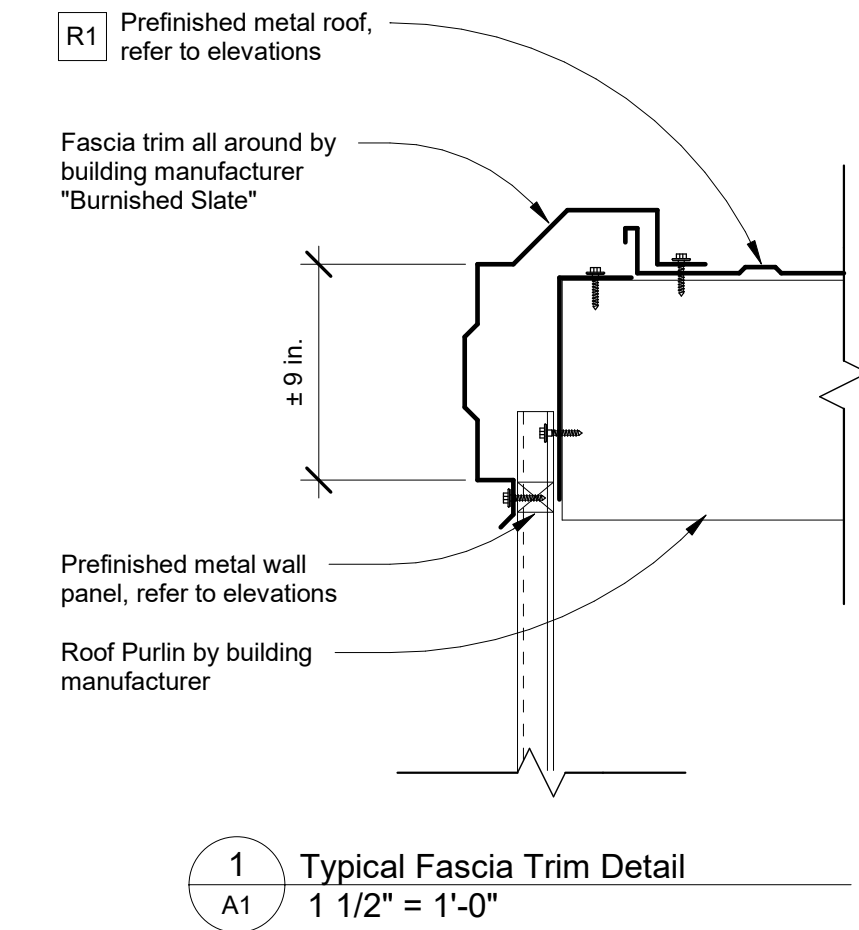
Project Team:

19 and 26, LLC
P.O. Box 745
Windsor, CO 80550
Phone: (970) 289-0506
Owner

Wernsman Engineering & Land
Development, LLC
16493 Essex Rd. S
Platteville, CO 80651
Phone: (970) 539-2656
Contact: Eric Wernsman
Email: eric@wernsman.com
Civil Engineering

Sheet:
Covered Parking
Elevations

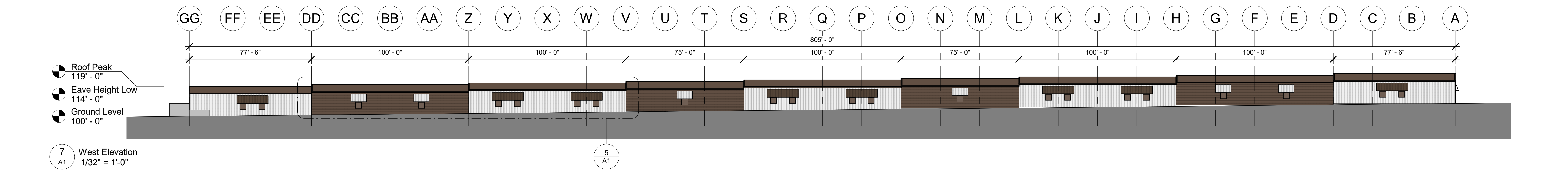
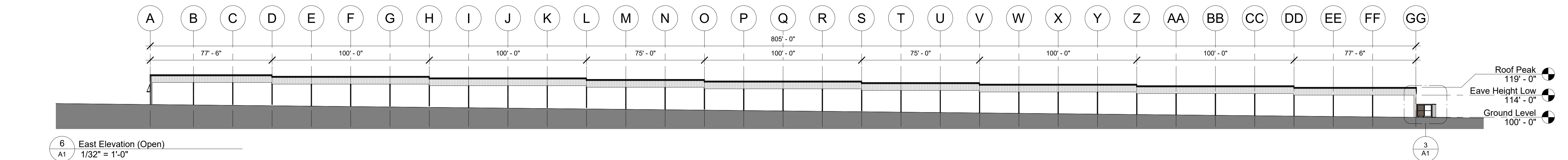
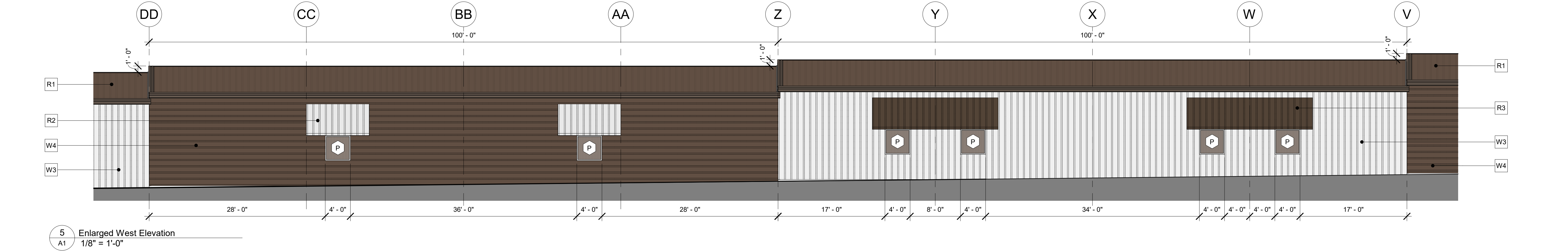
A1
Scale Accordingly if Reduced



Exterior Material Legend

- The following images of materials is for general representation only. Contractor shall provide owner with physical samples for final approval.
- Refer to Project System Notes for complete system assembly.

P	Bronze polycarbonate window with clear aluminum metal frames.
SG	Steel gate, painted "Burnished Slate"
R1	Metal roof with matching fascia trim, prefinished "Burnished Slate" See Fascia Detail #1 this sheet.
R2	Metal awnings with matching flashings over metal frame, prefinished "Burnished Slate"
R3	Metal awnings with matching flashings over metal frame, prefinished "Burnished Slate"
W1	Manufactured stone veneer over metal framing. Included matching stone cap by manufacturer.
W2	Manufactured stone veneer over CMU Trash Enclosure. Included matching stone cap by manufacturer.
W3	Metal wall panel installed vertical, prefinished "Polar White"
W4	Metal wall panel installed horizontal, prefinished "Burnished Slate"
W5	Architectural metal wall panel installed horizontal, prefinished "Burnished Slate"



FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO
SHEET 16 OF 16

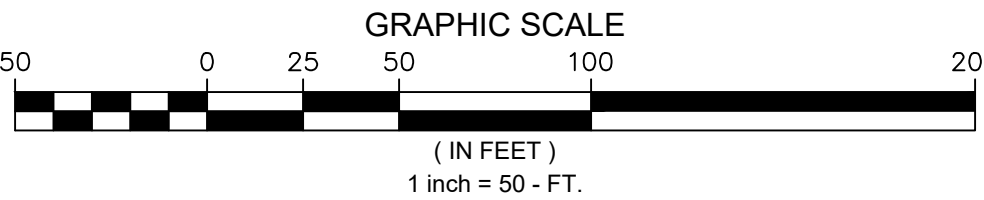
LAST 2 DIGITS
DESIGNATE
LIGHT HEIGHT
(17' POLE 3'
HIGH BASE)

Luminaire Schedule

Symbol	Label	Qty	Arrangement	Description	Lum. Lumens	LLF	Lum. Watts	Arr. Watts	Total Watts
	T2-BC	2	SINGLE	RAR-2-320L-110-4K7-2-BC	8002	0.850	105	105	210
	T3-BC	1	SINGLE	RAR-2-320L-110-4K7-3-BC	9030	0.850	105	105	105
	T4W-BC	12	SINGLE	RAR-2-480L-295-4K7-4W-BC	25350	0.850	294	294	3528
	T5	2	SINGLE	RAR2-480L-255-4K7-5QW-U	37179	0.850	257	257	514
	T5-2	10	BACK-BACK	RAR2-480L-255-4K7-5QW-U	37179	0.850	257	514	5140
	T5-4	10	4 @ 90 DEGREES	RAR2-480L-255-4K7-5QW-U	37179	0.850	257	1028	10280

Calculation Summary

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	PtSpcLr	PtSpcTb
All CalcPts Extending Out To Zero Foot-Candles	Illuminance	Fc	2.98	20.9	0.0	N.A.	N.A.	10	10



1. THIS LIGHTING DESIGN IS BASED ON LIMITED INFORMATION SUPPLIED BY OTHERS TO HUBBELL LIGHTING. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

TITLE:PHOTOMETRIC PLAN RV STORAGE YARD	REVISED FROM DRAWING NUMBER(S):		 Hubbell Lighting, Inc. 701 MILLENNIUM BLVD. GREENVILLE, SC 29607	DN BY: YWY	DATE: 11-23-20	CHK BY:
				REV. BY:	DATE:	SCALE: AS NOTED
				QUOTE: N/A	DRAWING / DESIGN NO.: 20-27278	

LIGHTS AND CUT SHEETS PROVIDED ON 8.5 X 11 DETAIL SHEETS

LOT 2, 19 & 26 CROSSINGS Final Development Plan

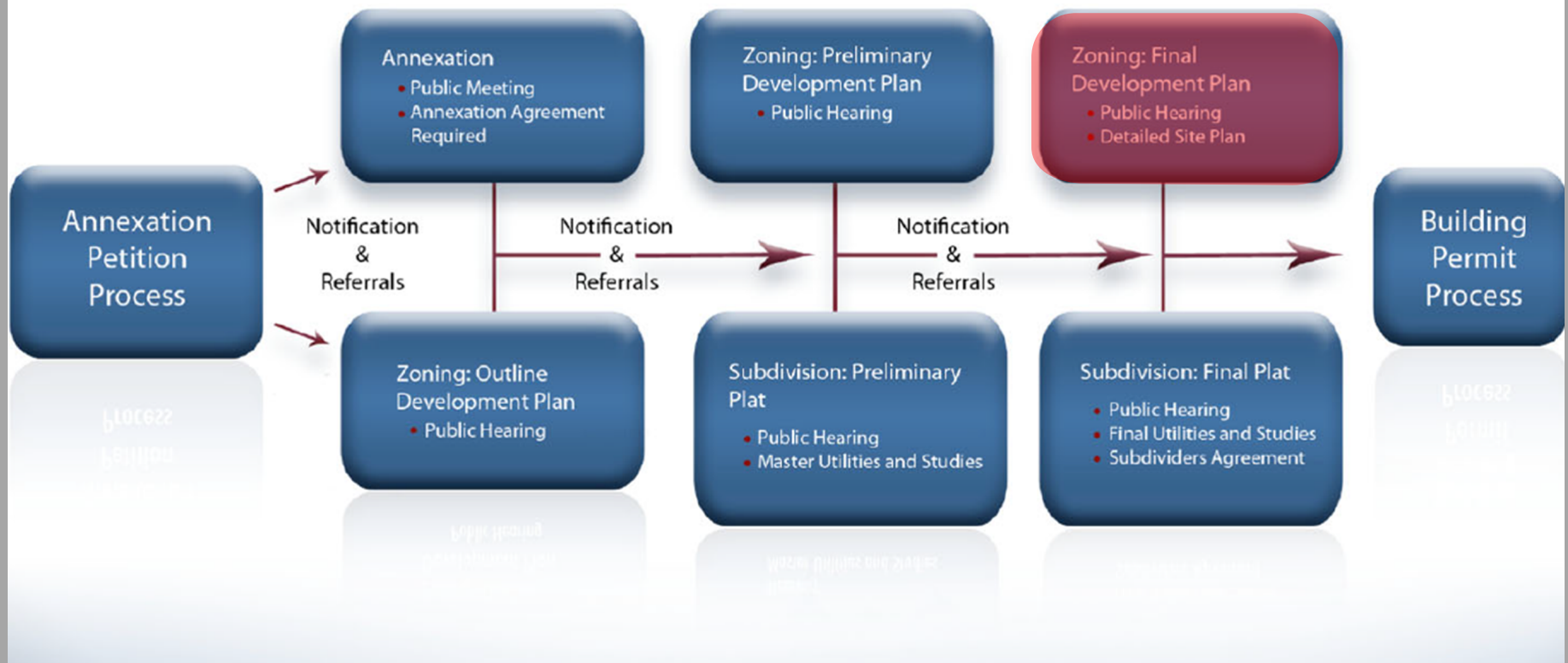


Planning & Zoning Commission – May 6,
2021

Process

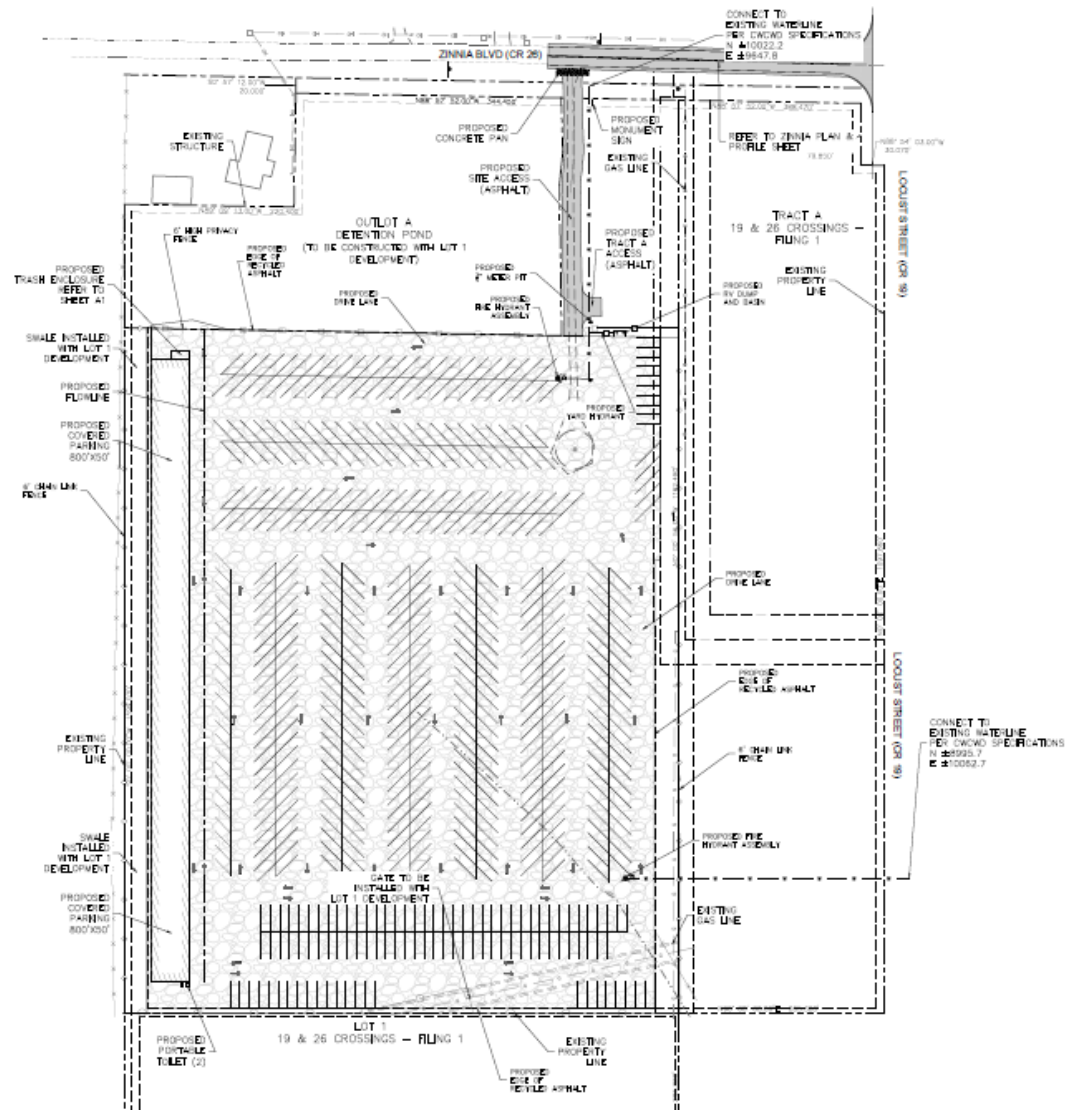


Development Flow Chart | Firestone PUD Zoning

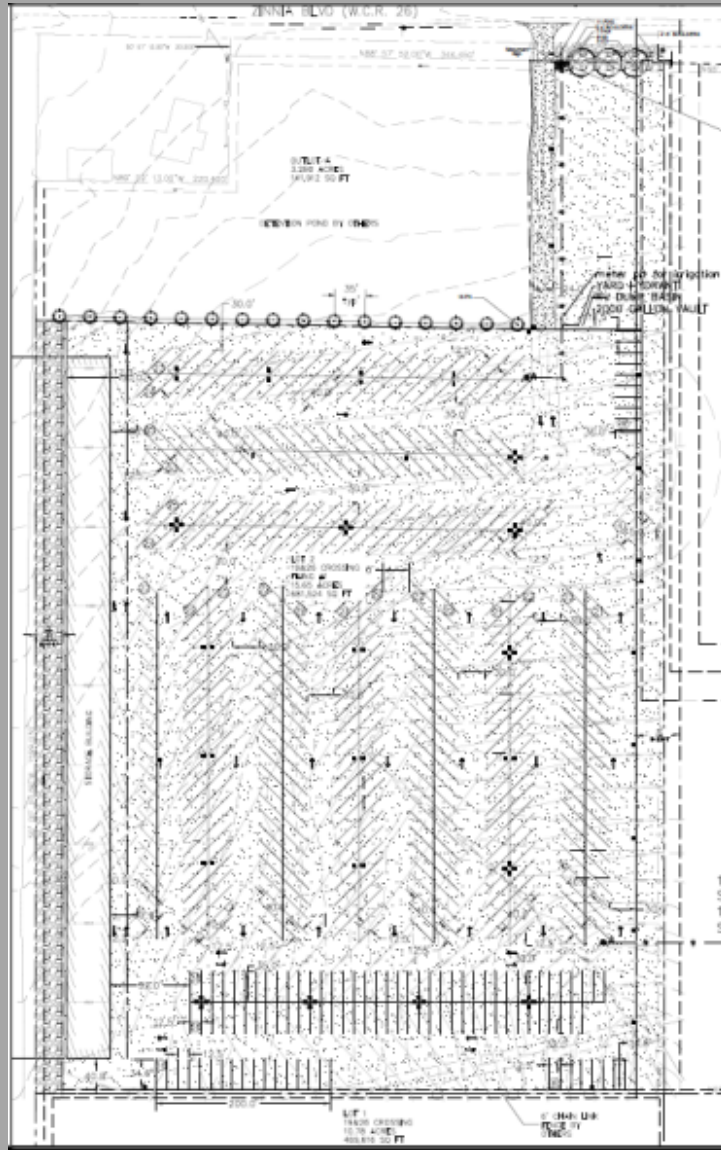


The Firestone logo, featuring the word "FIRESTONE" in a bold, sans-serif font, with a stylized flame graphic above the letters "I" and "R".





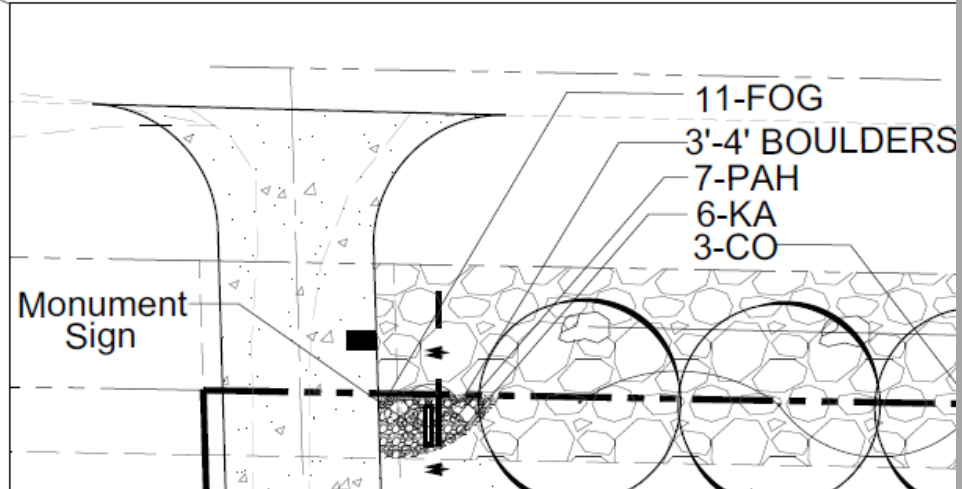
FDP Landscaping Plan



PLANT LIST

KEY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES	QTY
DECIDUOUS TREES					
CO	<i>Celtis occidentalis</i>	Western Hackberry	2" cal.	B&B	3
EVERGREEN TREES					
PN	<i>Pinus nigra</i>	Austrian Pine	6' ht.	B&B	16
EVERGREEN TREES					
FOG	<i>Festuca ovina glauca</i>	Blue Fescue	1 gal.	12" o.c.	11
PAH	<i>Pennisetum alopecuroides 'Hamlin'</i>	Dwarf Fountain Grass	1 gal.	12" o.c.	7
KA	<i>Calamagrostis x acutiflora 'Karl Forester'</i>	Karl Forester Grass	1 gal.	24" o.c.	6

ENTRY LANDSCAPE



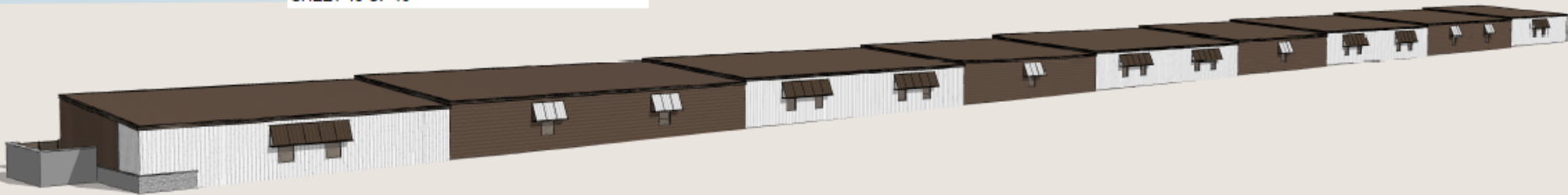
SCALE 1" = 10'

136 sq ft of drip area

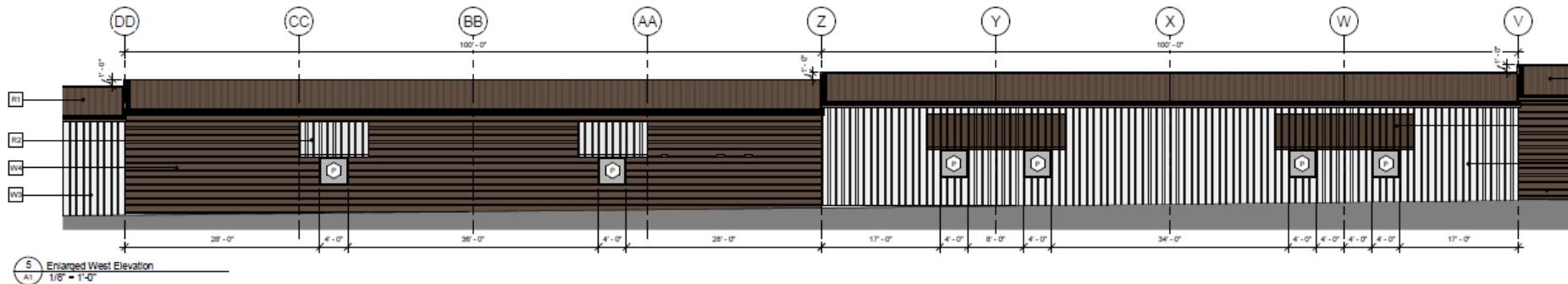
FDP-Building Elevations



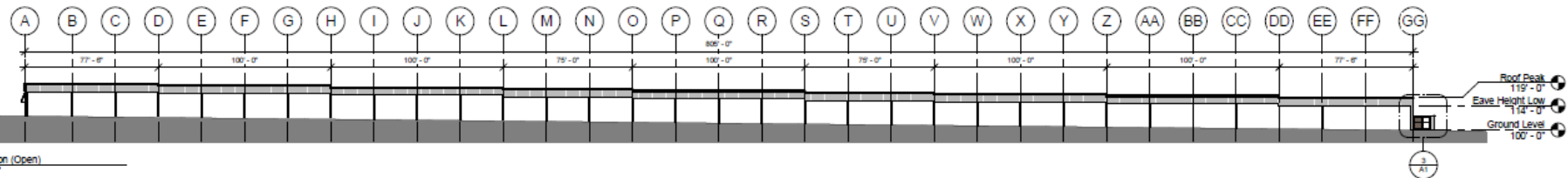
FINAL DEVELOPMENT PLAN
SWABBCO STORAGE
TOWN OF FIRESTONE, COUNTY OF WELD,
STATE OF COLORADO
SHEET 15 OF 16



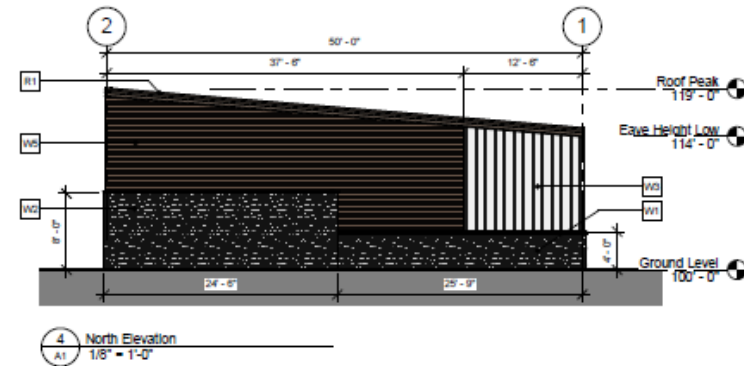
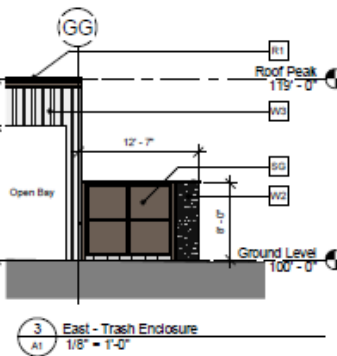
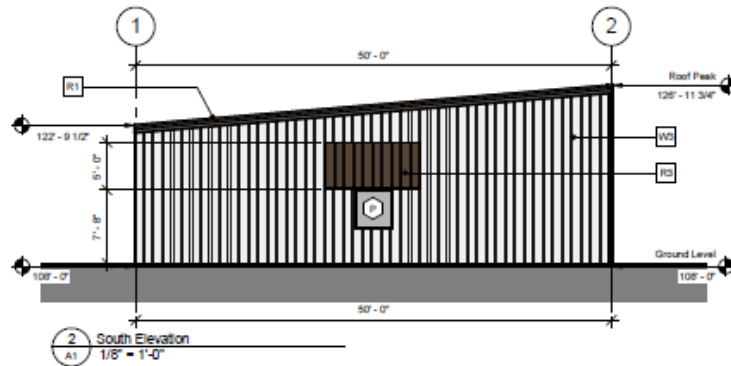
Enlarged west elevation



East elevation (open)



south, north, and trash enclosure elevations



Staff Recommendations-FDP



Staff Recommends that the Planning Commission:

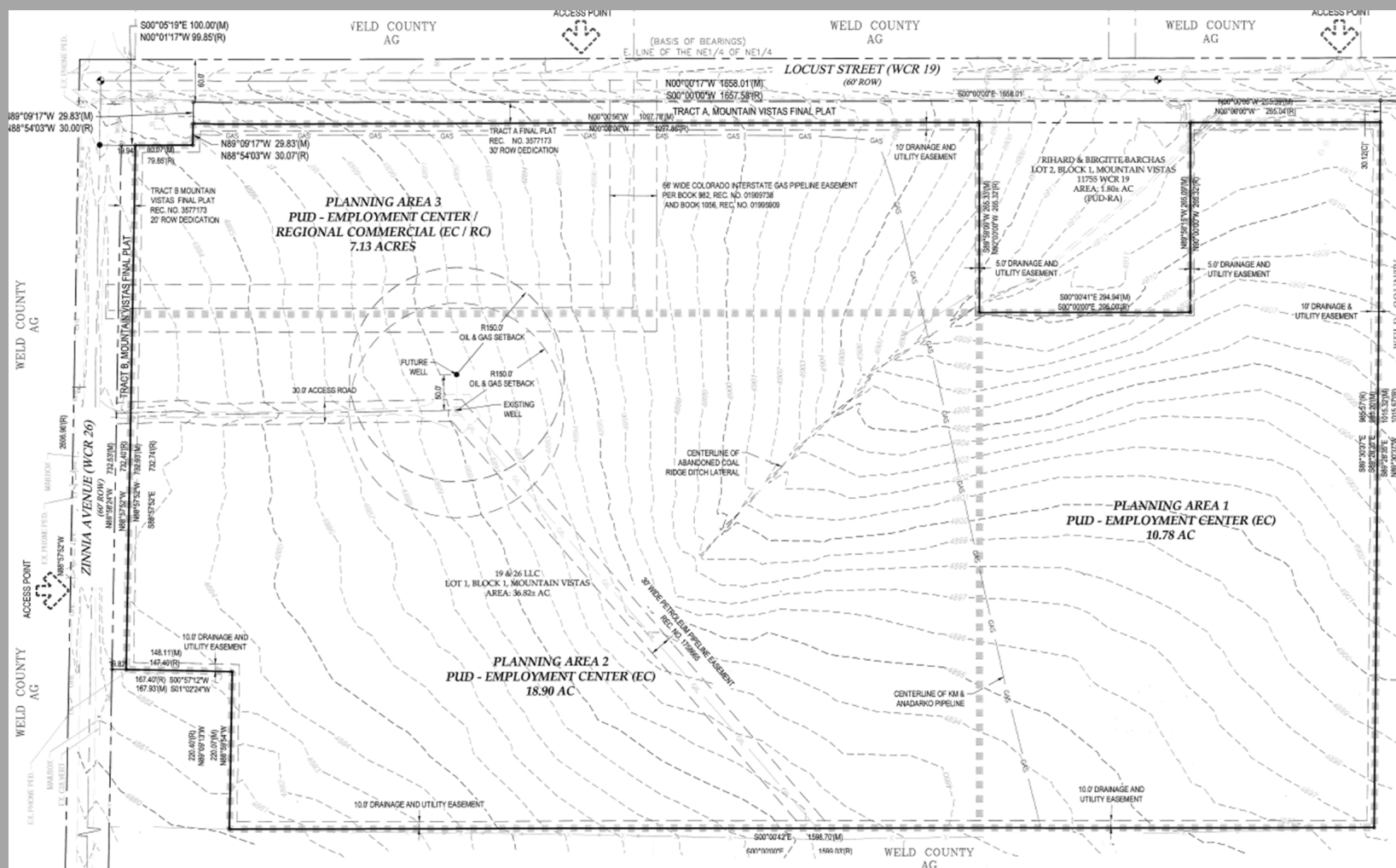
Approve Resolution PC-21-05; a resolution recommending approval of the Lot 2, 19 & 26 Crossings with the following conditions to the Board of Trustees:

- 1) Modify plans and application materials pursuant to comments of the Town Engineer set forth in memoranda dated January 19, 2020, to the Town's satisfaction.
- 2) Technical corrections to the Lot 2, 19 & 26 Crossing Filing No. 1 Final Development Plan shall be made to the Town's satisfaction.
- 3) Fee-in-lieu of Open Space Dedication in the pro-rata share amount of \$55,200.00 shall be paid to the Town prior to the recordation of the Lot 2, 19 & 26 Crossings Filing No. 1 Final Development Plan.
- 4) The Town of Firestone has determined that the required CBT dedication to be: irrigation demand is 0.31 shares, and the domestic demand is 0.69 shares for a total of 1 share shall be transferred to the Town prior to the recordation of the FDP.
- 5) No grading permit shall be issued on Lot 2, 19 & 26 Crossings Final Development Plan until such time proof of payment has been made to United Power for the relocation of the power pole/equipment located within the northwest corner of Locust Street (WCR 19) and Zinnia Avenue (WCR26)

LOT 2, 19 & 26 CROSSINGS FINAL DEVELOPMENT PLAN



Planning & Zoning Commission – October 15,
2020



October 7, 2020

To Whom It May Concern:

I represent 19 & 26, LLC Crossings in connection with its pending application with the Town of Firestone. 1919 & 26 Crossings, as the applicant in such application, hereby expressly authorizes the Town to proceed with conducting the Planning and Zoning Commission and Town Board public hearings for the Final Plan and Final Development Plan for 19 & 26 Crossings under the Town's Orientation Telephonic Participation Policy. The applicant understands that the hearing will include accommodations made for Telephonic Participation by the applicant and/or the public. The applicant is waiving any legal challenge on the basis that the hearing will be conducted via Telephone Participation.

Regards,

DocuSigned by:

B5EDB0FB23884B8...
Jenni Lee Stults
Project Manager